

**SECTION 00 9111
ADDENDUM NUMBER 1**

PARTICULARS

- 1.01 DATE: AUGUST 4, 2014**
- 1.02 PROJECT: UNIVERSITY OF SOUTH CAROLINA - SOM ANIMAL CARE RENOVATIONS**
- 1.03 PROJECT NUMBER: STATE PROJECT #H27-Z152, A/E #14015.01**
- 1.04 OWNER: UNIVERSITY OF SOUTH CAROLINA**
- 1.05 ARCHITECT: GMK ASSOCIATES, INC.**
- TO: PROSPECTIVE BIDDERS**
- 2.01 THIS ADDENDUM FORMS A PART OF THE CONTRACT DOCUMENTS AND MODIFIES THE BIDDING DOCUMENTS DATED 6/30/2014 , WITH AMENDMENTS AND ADDITIONS NOTED BELOW.**
- 2.02 ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE SPACE PROVIDED IN THE BID FORM. FAILURE TO DO SO MAY DISQUALIFY THE BIDDER.**
- 2.03 THIS ADDENDUM CONSISTS OF 2 PAGES AND THE FOLLOWING ATTACHMENTS:**
 - A. Pre-Bid Meeting attendance sign in sheets
 - B. Fire Sprinkler System Specification Sheet
 - C. DRAWING A-1.04
 - D. DRAWING A-2.0
 - E. DRAWING A-3.0
 - F. DRAWING A-4.0
 - G. DRAWING FP1.0
 - H. DRAWING M1.0
 - I. DRAWING M2.0
 - J. DRAWING M5.1
 - K. DRAWING M6.1
 - L. DRAWING M7.1

CHANGES TO THE PROJECT MANUAL

- 3.01 SECTION 09-9600**
 - A. Delete section in its entirety.
- 3.02 SECTION 09-6723 - RESINOUS FLOORING**
 - A. Revise paragraph 2.03.B.3. to read:

"3. OVERALL SYSTEM THICKNESS SHALL BE 1/8" TO 3/16".

CLARIFICATIONS

5.01 AUGUST 7, 2014 AT 2:00 PM IS THE LATEST TIME THAT AN ADDENDUM CAN BE ISSUED.

5.02 THE DEADLINE FOR QUESTIONS OR SUBSTITUTIONS IS AUGUST 5, 2014 COB.

5.03 THE OWNER WILL REMOVE ANY MOVABLE FURNITURE, FIXTURES AND EQUIPMENT FROM THE PROJECT AREA. COORDINATE WITH THE OWNER AS REQUIRED.

5.04 PARKING SPACES WILL BE PROVIDED TO THE CONTRACTOR. COORDINATE WITH THE OWNER FOR LOCATIONS.

5.05 THERE IS EXTREMELY LIMITED LAY-DOWN AREA AROUND THE PROJECT SITE.

A. USC will provide a location for a dumpster.

5.06 THE CONSTRUCTION WORK WILL BEGIN ON OCTOBER 1 AND MUST BE COMPLETED 92 DAYS FROM START OF CONSTRUCTION.

A. The Contract will be awarded as soon as possible after bid opening to accommodate the shop drawing and equipment/material procurements in advance of the work period.

PRE-BID MEETING ATTENDANCE SIGN IN SHEET

6.01 ISSUED AS PART OF THIS ADDENDUM FOR INFORMATION ONLY. SEE ATTACHED.

CHANGES TO THE DRAWINGS

7.01 DRAWING A-1.0

A. Replace sheet A-1.0 in its entirety.

7.02 DRAWING A-2.0

A. Replace sheet A-2.0 in its entirety.

7.03 DRAWING A-3.0

A. Replace sheet A-3.0 in its entirety.

7.04 DRAWING A-4.0

A. Replace sheet A-4.0 in its entirety.

7.05 DRAWING FP1.0

A. Add sheet FP1.0 in its entirety.

7.06 DRAWING M1.0

A. Replace sheet M1.0 in its entirety.

7.07 DRAWING M2.0

A. Replace sheet M2.0 in its entirety.

7.08 DRAWING M5.1

A. Replace sheet M5.1 in its entirety.

7.09 DRAWING M6.1

A. Replace sheet M6.1 in its entirety.

7.10 DRAWING M7.1

A. Replace sheet M7.1 in its entirety.

END OF ADDENDUM NUMBER 1

University of South Carolina Pre Bid Sign In Sheet
Columbia, South Carolina

Project Name: USC SOM Amnimal Care Renovations
 Project Number: H27-2152
 Pre Bid Date & Time: July 29, 2014 @ 10 am

Name	Company Name	Address	Phone #	Email
Charlie White	FB Construction	Flower, SC 29501 2240 Dukes St	843-251-9956	charlie.white@fbconstruction.com
WADE BOZEMAN	PYRAMID CONTRACTORS	9144 Arrowpoint Blvd Ste. 150 Charlotte, NC	704-887-0880	WADE@PYRAMIDCONTRACTORS.COM slinck@hendrickconstruction.com
Sarah Linckey	Hendrick Construction	313 Beahmerville Ln Georgetown SC	803-732-2050	
Cale Tanner	Carolina Cat's Solus Mr. CATER Mack.	685 John Dadd Spartanburg, S.C. 29303	803-522-0673 864-579-7883	CaleTanner@Boilsochymat.com Scott@MrCatsMcDonald.com
Simon Handberg	usc Design Facility	743 Green St Columbia, SC	704-585-7116	joel@randolphbuilders.com
Scott Broome Jeff Randolph	Randolph & Son Builders, Inc.	1010 Camp Rd. Dineville, NC 28134	704-585-7116	
ERIC MEYER	USC HARMIT		803-509-3376	melano@mailbox.sc.edu
Jay Ricker	GMR Assoc.	1201 Main St Columbia SC	803-252-0000	Jricker@gmr.com

****By signing this sheet you agree to receive information electronically.

University of South Carolina Pre Bid Sign In Sheet
Columbia, South Carolina

Project Name: USC SOM Amnimal Care Renovations
 Project Number: H27-2152
 Pre Bid Date & Time: July 29, 2014 @ 10 am

Name	Company Name	Address	Phone #	Email
Larry Knoff	USC SOM	785 Hampton Creek WY 803-783-7033	216-3323	larry.knoff@usc.som.med.sc.edu
Jason Prouse	Hammer Construction	Columbia, 29209	803-261-4816	jason@hammerllc.com
HA McGeer	STANDARD	1000 EAST PARKWAY MAPLE SHADE, NJ	803-586-9531	hmcgee@standard.com
Uaquana Brooks	USC	743 Greene St Columbia, SC	803.111.3596	jbrooks@fmc.sc.edu

****By signing this sheet you agree to receive information electronically.



Project Data

Project name: USC School of Medicine - Vivarium

Location in South Carolina:	Address: School of Medicine Blvd. Building #4	State project: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	City: Columbia	County: Richland State project #:

Water Supply Information

(flow test data must be less than 1 year old per §40-10-250(A)(1))

Date test conducted: 06 / 27 /2014	Static pressure (psi): 63	Residual pressure (psi): 50	Flow (gpm): 1110
Distances of test gauges relative to the base of the riser:	Horizontal (ft): 2	Vertical (elevation difference in ft): 3	
Source of water supply:	<input type="checkbox"/> Municipal dead-end <input checked="" type="checkbox"/> Municipal circulation <input type="checkbox"/> Other:		Pipe Size (in.): 6
Test data by/from:	Name: Von Ray Price		Title: Inspector
	Organization: LifeGuard Fire Protection		Telephone #: n/a
Fire pump:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Pump Capacity (gpm):	Churn Pressure (psi):
	<input type="checkbox"/> New <input type="checkbox"/> Existing	Rated Pressure (psi):	Pressure @ 150% flow (psi):
On-site storage tank:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> New <input type="checkbox"/> Existing	Tank capacity (gallons):

NFPA Hazard Classification

(attach continuation page when necessary)

Area #	Class or Code Reference	Description of Hazard Protected (commodity description, storage height, and arrangement as applicable.)
1	Light hazard	Office and Laboratory spaces

Design Parameters

(attach continuation page when necessary)

Area #	System Type	Density (gpm/ft ²) / Area (ft ²) or Other (reference code section)	Inside Hose (gpm)	Outside Hose (gpm)
1	Wet	0.1/1500	100	0

Seismic Design Data: S_s = 0.567

Codes and Standards

(attach continuation page when necessary)

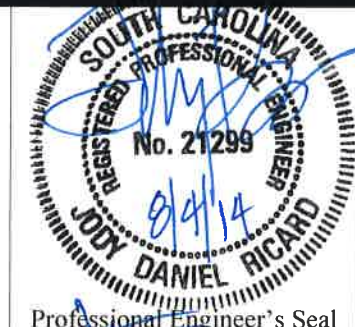
Applicable Codes, Standards & Editions (i.e. "2006 IBC", "2007 NFPA 13", etc.) for the Scope of Work on the Sprinkler System

NFPA 13, 2010 Edition
International Building Code, 2012 Edition

Scope of work (such as sprinkler system A.G. from 1'-0" A.F.F., U.G. from tap to 5'-0" outside, etc.) and notes (attach continuation page when necessary):
Scope involves reconfiguration of existing sprinkler heads and addition where necessary. Tie ins to be made to existing wet system.

Specifier's Information

Name: Jody D. Ricard	
Engineering services provided through a firm: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Firm name: GMK Associates, Inc	
Address: 1201 Main Street, Suite 2100	
City: Columbia	
State: SC	Zip: 29201
Phone #: 803-256-0000	Fax #: N/A
E-mail: JRicard@gmka.com	



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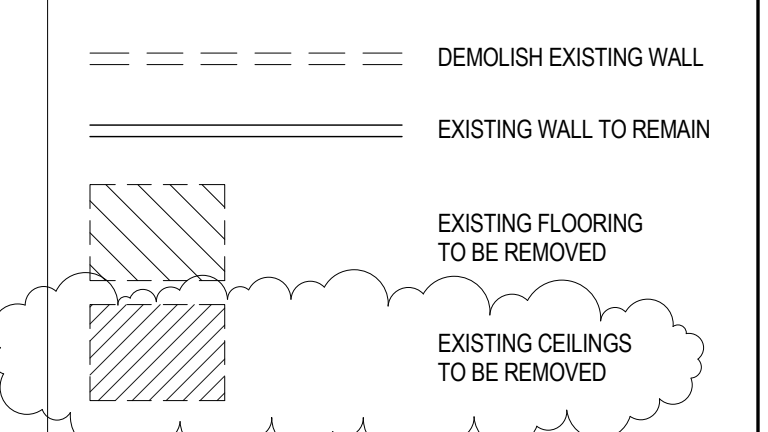


1 BASEMENT - DEMO
1/8" = 1'-0"

DEMOLITION NOTES

1. DEMOLITION DRAWINGS SHOW GENERAL INTENT AND AREA. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY EXISTING DIMENSIONS, MATERIALS, UTILITY LOCATIONS AND TO PROVIDE ALL NECESSARY SHORING, BRACING AND UTILITY SHUT-OFF NECESSARY FOR SAFE REMOVAL OF MATERIALS.
2. GENERAL CONTRACTOR TO COORDINATE ALL TRADES INVOLVED IN DEMOLITION.
3. TEMPORARY EXIT ACCESS CORRIDORS THRU CONSTRUCTION AREAS SHALL BE CLEARLY MARKED AND MAINTAINED. OWNER ACCESS TO AND FROM ALL OCCUPIED AREAS SHALL BE MAINTAINED CLEAR OF ALL OBSTRUCTIONS. AREAS NOT ACCESSIBLE TO THE OWNER SHALL BE BARRICADED AND CLEARLY MARKED. CONSTRUCTION MANAGER SHALL NOTIFY OWNER AND ALL TRADES OF ANY ACCESS PATH CHANGES. SEE SITE, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL DEMOLITION WORK AND UTILITY SERVICES THAT MUST BE MAINTAINED.
5. PATCH AND REPAIR ALL EXISTING WALL, FLOOR AND CEILING FINISHES DAMAGED BY REMOVAL OF EXISTING CONSTRUCTION OR WHERE THE REQUIREMENTS OF NEW CONSTRUCTION ALTERS EXISTING MATERIALS.
6. WHERE EXISTING UTILITY PIPING OR CONDUITS ARE TO BE ABANDONED IN PLACE, CUT AND CAP BEHIND PLANE OF NEW FINISHED SURFACES. REMOVE EXISTING WIRING BACK TO PANELBOARD OR DEVICE BEFORE CUTTING AND CAPPING.
7. WHERE CLOSING OPENINGS CREATED BY DEMOLITION, CLOSE OPENING WITH MATERIALS MATCHING EXISTING ADJACENT MATERIALS ON INTERIOR AND EXTERIOR OR AS REQUIRED BY NEW CONSTRUCTION.
8. ALL EXISTING FIRE ALARMS AND PULLS ARE TO REMAIN IN OPERATION. WHERE REMOVAL IS REQUIRED COORDINATE WITH FIRE MARSHAL AND THE OWNER TO DETERMINE THE LOCATION OF TEMPORARY EXIT SIGNS, FIRE ALARM HORNS AND PULLS.
9. FOR SELECTIVE DEMOLITION REMOVAL REQUIREMENTS SEE SPECIFICATIONS.
10. NOTIFY OWNER 72 HOURS PRIOR TO SHUT-OFF OR DEMOLITION OF ANY UTILITIES, EQUIPMENT, ELECTRICAL AND TELECOMMUNICATION DEVICES OR EQUIPMENT.
11. OWNER REQUESTED ITEMS FOR SALVAGE SHALL BE TURNED OVER TO THE OWNER IN GOOD REPAIR. NOTIFY OWNER 48 HOURS MINIMUM PRIOR TO TURN OVER.
12. NOT USED.

LINETYPES LEGEND



DEMOLITION KEYNOTES

- NOTE: NOT ALL KEYNOTES ARE USED ON EVERY SHEET. REFER TO EACH SHEET FOR SPECIFIC KEYNOTES.
- A REMOVE EXISTING FLOOR FINISH.
 - B REMOVE EXISTING ACT & ALL CEILING DEVICES.
 - C REMOVE ALL EXISTING PTD W/ WALL GUARDS
 - D DEMOLISH CHASE WALL ABOVE CEILING TO REWORK EXISTING EXHAUST DUCT.
 - E REMOVE PTD W/ BOARD COVERING ON EXISTING WINDOW OPENING. PATCH TO MATCH FINISH WALL.
 - F REMOVE & SALVAGE DOOR. DEMOLISH HOLLOW METAL FRAME & REMOVE THRESHOLD
 - G



Architects/Engineers/Planners
1201 Main Street, Suite 2100
Columbia, S.C. 29201
tel. 803-256-0000
fax 803-255-7243

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Consultants
Flad Architects



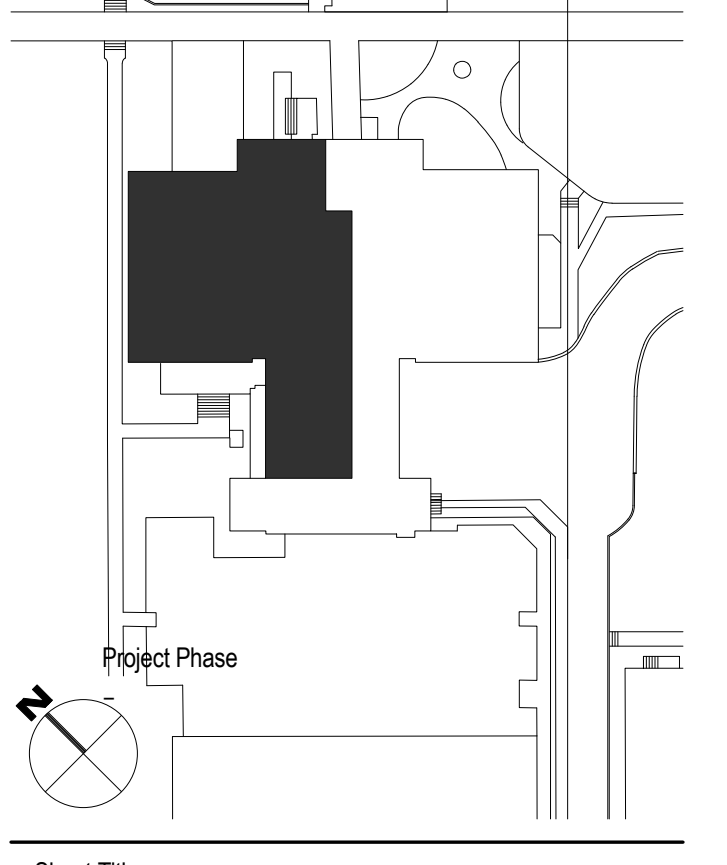
Owner
UNIVERSITY OF SOUTH CAROLINA
UNIVERSITY OF SOUTH CAROLINA
Project Title
SCHOOL OF MEDICINE - VIVARIUM
SCHOOL OF MEDICINE BOULEVARD
BUILDING 4
COLUMBIA, SC 29209
A/E Project Number
14211-00
Seals/Signature

Issued for
ISSUED FOR CONSTRUCTION

Date
AUGUST 8, 2014

Number	Item	Date
1	ADDENDUM #1	08/04/2014

Key Plan



Sheet Title
DEMOLITION PLAN

Sheet Number
A-1.0

Drawn By BHC
Checked By MN

DEMOLITION NOTES

- DEMOLITION DRAWINGS SHOW GENERAL INTENT AND AREA. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY EXISTING DIMENSIONS, MATERIALS, UTILITY LOCATIONS AND TO PROVIDE ALL NECESSARY SHORING, BRACING AND UTILITY SHUT-OFF NECESSARY FOR SAFE REMOVAL OF MATERIALS.
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- SEE SITE, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL DEMOLITION WORK AND UTILITY SERVICES THAT MUST BE MAINTAINED.
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- WHERE EXISTING UTILITY PIPING OR CONDUITS ARE TO BE ABANDONED IN PLACE, CUT AND CAP BEHIND PLANE OF NEW FINISHED SURFACES. REMOVE EXISTING WIRING BACK TO PANELBOARD OR DEVICE BEFORE CUTTING AND CAPPING.
- WHERE CLOSING OPENINGS CREATED BY DEMOLITION, CLOSE OPENING WITH MATERIALS MATCHING EXISTING ADJACENT MATERIALS ON INTERIOR AND EXTERIOR OR AS REQUIRED BY NEW CONSTRUCTION.
- ALL EXISTING FIRE ALARMS AND PULLS ARE TO REMAIN IN OPERATION. WHERE REMOVAL IS REQUIRED COORDINATE WITH FIRE MARSHAL. AND THE OWNER TO DETERMINE THE LOCATION OF TEMPORARY EXIT SIGNS, FIRE ALARM HORNS AND PULLS.
- FOR SELECTIVE DEMOLITION REMOVAL REQUIREMENTS SEE SPECIFICATIONS.
- NOTIFY OWNER 72 HOURS PRIOR TO SHUT-OFF OR DEMOLITION OF ANY UTILITIES, EQUIPMENT, ELECTRICAL AND TELECOMMUNICATION ROOMS OR EQUIPMENT.
- OWNER REQUESTED ITEMS FOR SALVAGE SHALL BE TURNED OVER TO THE OWNER IN GOOD REPAIR. NOTIFY OWNER 48 HOURS MINIMUM PRIOR TO TURN OVER.
- NOT USED.

LINETYPES LEGEND

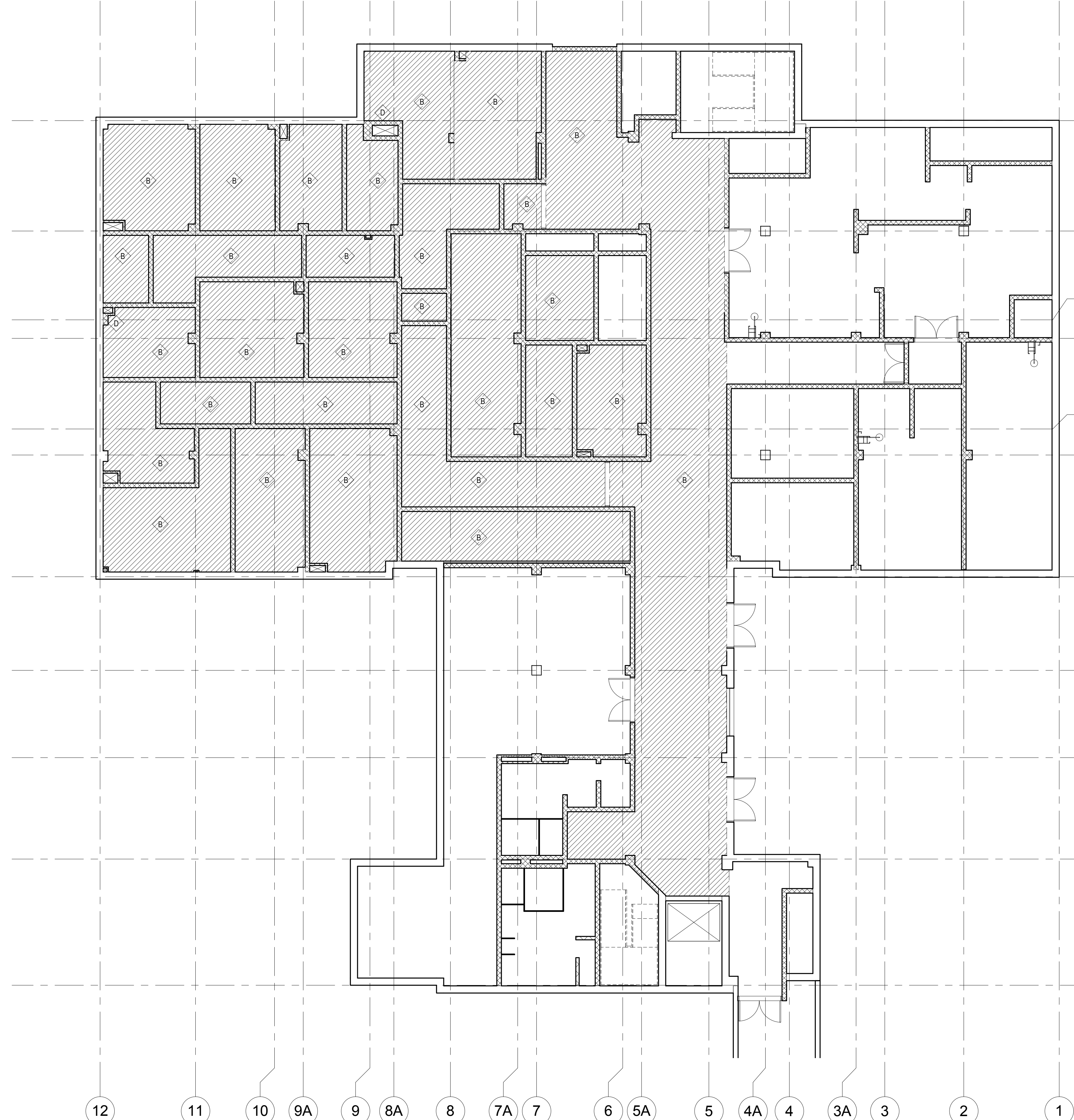
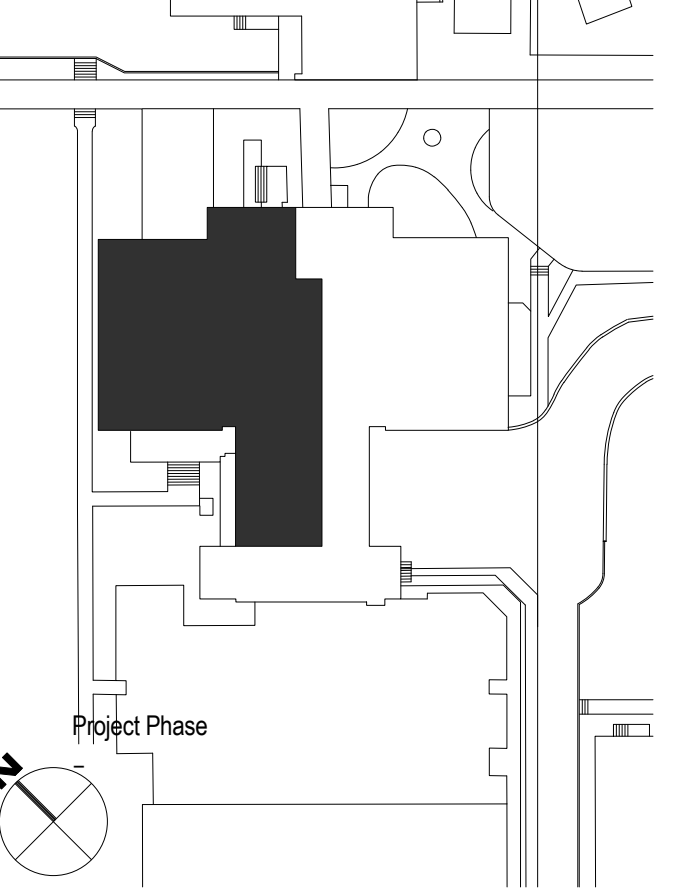
- DEMOLISH EXISTING WALL
- EXISTING WALL TO REMAIN
- [Hatched Box] EXISTING FLOORING TO BE REMOVED
- [Dotted Box] EXISTING CEILINGS TO BE REMOVED

DEMOLITION KEYNOTES

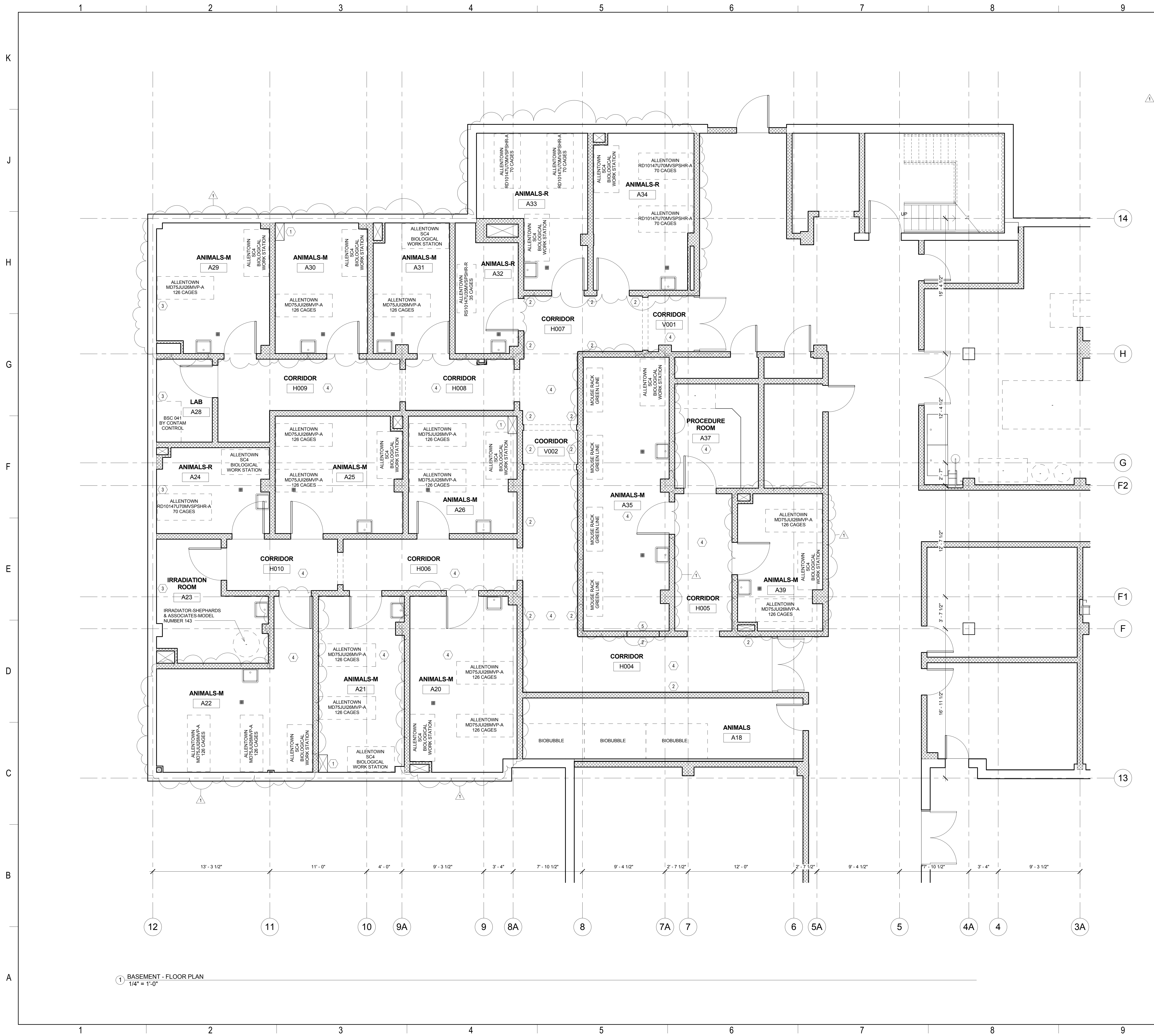
NOTE: NOT ALL KEYNOTES ARE USED ON EVERY SHEET. REFER TO EACH SHEET FOR SPECIFIC KEYNOTES.

- A REMOVE EXISTING FLOOR FINISH.
- B REMOVE EXISTING ACT & ALL CEILING DEVICES.
- C REMOVE ALL EXISTING PTD WD WALL GUARDS
- D DEMOLISH CHASE WALL ABOVE CEILING TO REWORK EXISTING EXHAUST DUCT.
- E REMOVE PTD WD BOARD COVERING ON EXISTING WINDOW OPENING. PATCH TO MATCH FINISH WALL.
- F REMOVE & SALVAGE DOOR. DEMOLISH HOLLOW METAL FRAME & REMOVE THRESHOLD
- G

Number	Item	Date
1	ADDENDUM #1	08/04/2014



BASEMENT - REFLECTED CEILING PLAN - DEMO
1/8" = 1'-0"



1 BASEMENT - FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING ALL DIMENSIONS AND OTHER CONDITIONS APPLICABLE TO THE WORK. SHOULD ANY DISCREPANCIES APPEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FIELD VERIFY ALL DIMENSIONS.
2. SEAL ALL INTERSECTIONS BETWEEN PARTITIONS AND STRUCTURE. AVOID CUTTING BACK TO BACK OPENINGS IN PARTITIONS.
3. RATED PARTITIONS AND WALLS ARE TO BE EFFECTIVELY AND PERMANENTLY MARKED PER APPLICABLE CODE AND LOCAL JURISDICTIONAL REQUIREMENTS.
4. NOT USED.
5. PATCH & PAINT ALL AFFECTED AREAS. MATCH EXISTING. PAINT ROSETALBERT 400 PREMIUM ACRYLIC SEMI-GLOSS ENAMEL, COLOR: ARIZONA WHITE 9830W.

KEYNOTES

- NOTE: NOT ALL KEYNOTES ARE USED ON EVERY SHEET. REFER TO EACH SHEET FOR SPECIFIC KEYNOTES.
1. NEW EXPOSED DUCTWORK. SEE MECHANICAL.
 2. NEW WALL GUARD. SEE SPECIFICATIONS.
 3. PATCH & INSULATE EXISTING WINDOW OPENINGS. FINISH TO MATCH EXISTING.
 4. NEW EPOXY RESIN FLOOR. SEE SPECIFICATIONS.
 5. IN-FILL EXISTING OPENING WITH PTD CMU. FINISH TO MATCH EXIST.

GRAPHIC LEGEND

Number	Item	Date
1	ADDENDUM #1	08/04/2014

RATED WALL LEGEND

- 1 HOUR FIRE BARRIER
- 2 HOUR FIRE BARRIER
- 2 HOUR FIRE WALL
- SMOKE TIGHT PARTITION

GMK ASSOCIATES, INC.
 Architects/Engineers/Planners
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 Columbia, SC 29201
 tel. 803-256-0000
 fax 803-255-7243

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Flad Architects

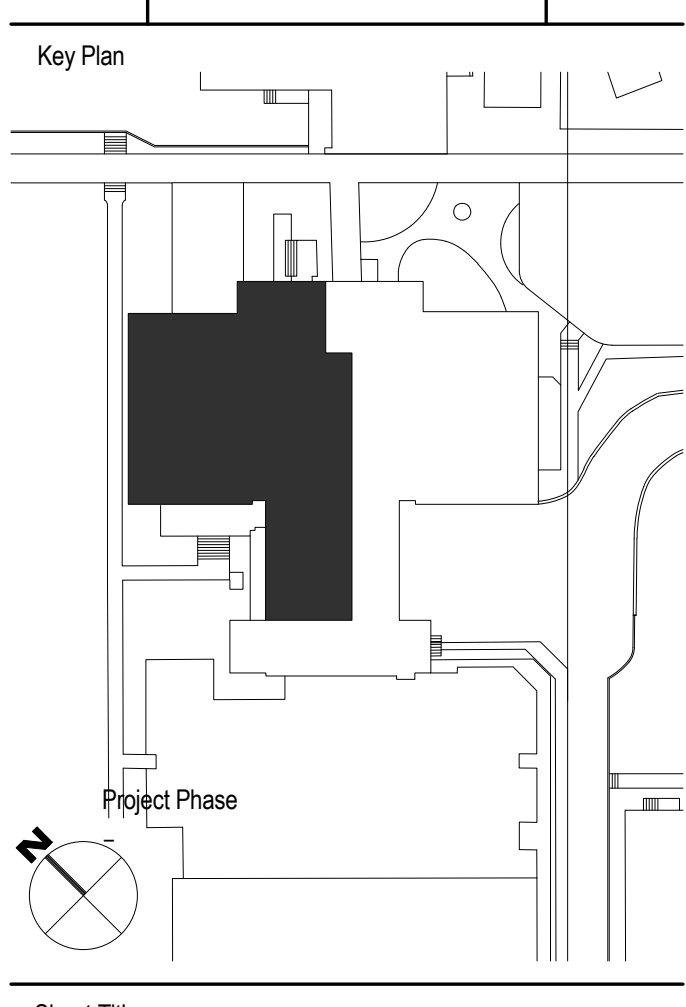
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Seals/Signature

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Date
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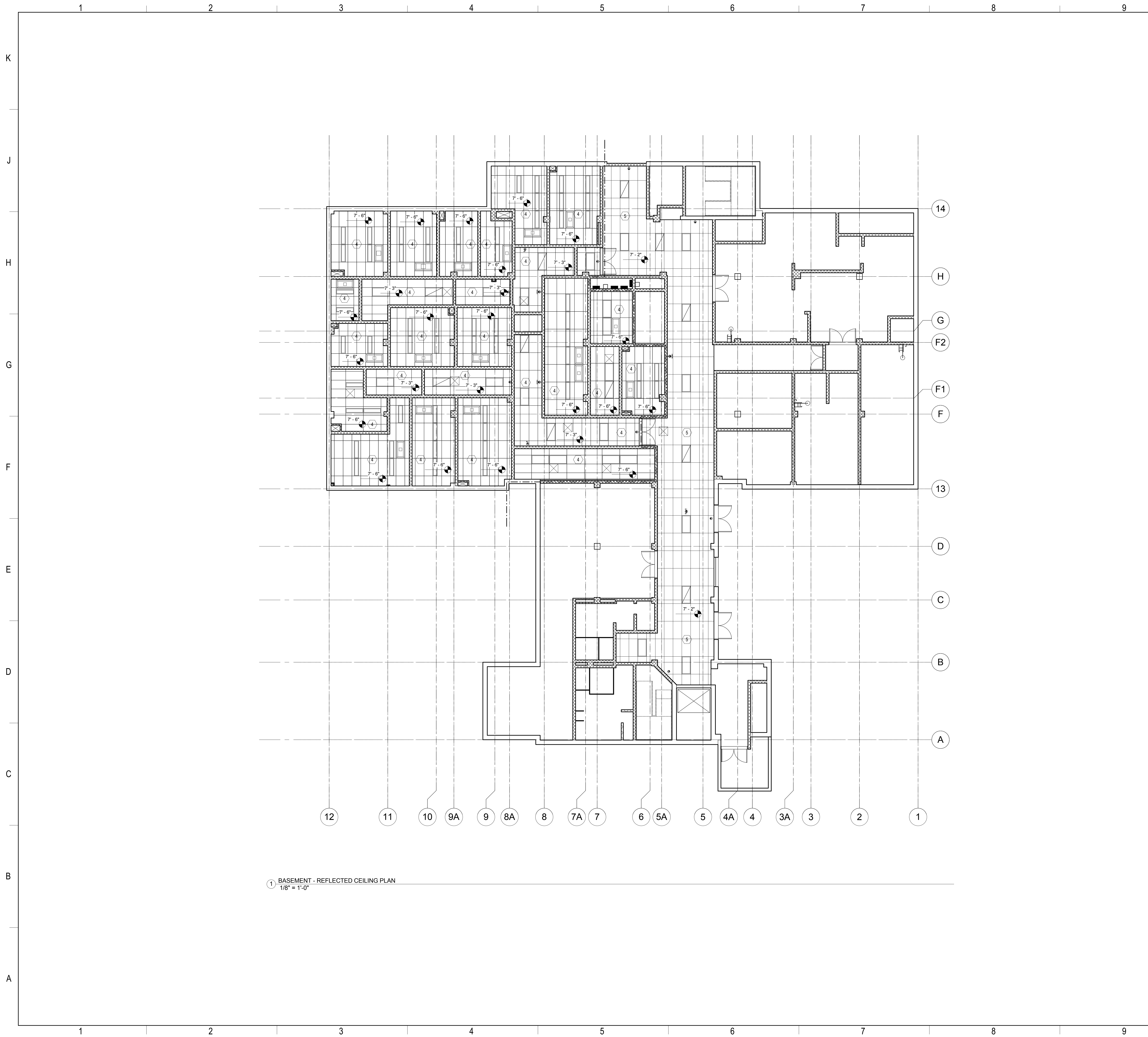
FLOOR PLAN - BASEMENT

Sheet Number

A-3.0




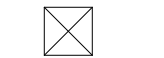





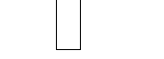
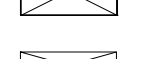







Drawn By: BHC
 Checked By: MN

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1 BASEMENT - REFLECTED CEILING PLAN
1/8" = 1'-0"

LEGEND

-  OPEN TO STRUCTURE
-  ACP-1
-  ACP-2
- CEILING TAG WITH CEILING HEIGHT HEIGHT INDICATED IS AFF
-  HVAC SUPPLY GRILLE
-  HVAC RETURN GRILLE
-  HVAC EXHAUST GRILLE
-  HVAC LINEAR DIFFUSER
-  RECESSED DOWNLIGHT / PENDANT SUSPENDED, SEE LIGHTING PLANS
-  PENDANT/SUSPENDED LIGHT FIXTURE
-  SURFACE MOUNTED LIGHT FIXTURE
-  2x4 RECESSED LIGHT FIXTURE
-  1x4 RECESSED LIGHT FIXTURE
-  2x4 EMERGENCY RECESSED LIGHT FIXTURE
-  1x4 EMERGENCY RECESSED LIGHT FIXTURE
-  CEILING ACCESS DOOR, NUMBER INDICATES NOMINAL SQUARE DIMENSION
-  CEILING-MOUNTED DAYLIGHT SENSOR
-  CEILING-MOUNTED OCCUPANCY SENSOR
-  LOCAL EXHAUST VENT

KEYNOTES


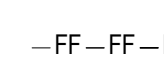


NOTE: NOT ALL KEYNOTES ARE USED ON EVERY SHEET. REFER TO EACH SHEET FOR SPECIFIC KEYNOTES.


- 1 NEW EXPOSED DUCTWORK, SEE MECHANICAL
- 2 NEW WALL GUARD, SEE SPECIFICATIONS
- 3 PATCH & INSULATE EXISTING WINDOW OPENINGS, FINISH TO MATCH EXISTING
- 4 ACT-1, SEE SPECIFICATIONS
- 5 ACT-2, SEE SPECIFICATIONS

GENERAL NOTES

- 1 NOT USED
- 2 REFER TO THE PROJECT MANUAL FOR ALL CEILING MATERIAL TYPES AND FINISHES
- 3 REFER TO MEP DRAWINGS FOR TYPE AND QUANTITY OF FIXTURES AND DEVICES. FOR FIXTURES AND DEVICES NOT SHOWN ON THE RCP, CONFIRM GENERAL LOCATION WITH ARCHITECT
- 4 DEVICES, FIXTURES AND CEILING EQUIPMENT IN EXPOSED CEILING AREAS TO BE COORDINATING BY MEP CONTRACTOR UNLESS SHOWN ON ARCHITECTURAL RCP
- 5 ALL CEILING DEVICES TO BE CENTERED WITHIN THE CEILING TILE UNLESS OTHERWISE NOTED. DEVICES AND FIXTURES TO INCLUDE, BUT NOT LIMITED TO, LIGHTS, SPRINKLER HEADS, SPEAKERS, OCCUPANT SENSORS, DIFFUSERS, ETC
- 6 WORKPOINT FOR CEILING GRID INSTALLATION TO BE THE CENTER OF THE ROOM OR SPACE UNLESS OTHERWISE NOTED
- 7 CEILING TO EXTEND OVER ALL UPPER CABINETS AND CASEWORK UNLESS OTHERWISE NOTED
- 8 VERIFY SIZE, LOCATIONS AND QUANTITY OF ACCESS PANELS WITH MEP CONTRACTOR AND CONFIRM LOCATION WITH ARCHITECT
- 9 REFER TO AV DRAWINGS FOR EQUIPMENT LOCATIONS AND MOUNTING DETAILS
- 10 COORDINATE CEILING PENETRATIONS FOR LAB EQUIPMENT WITH MECHANICAL DRAWINGS
- 11 ALL SPRINKLER HEAD COVERS TO BE WHITE UNLESS OTHERWISE NOTED. SEE FIRE PROTECTION SPECIFICATION FOR CUSTOM COLORS. REFER TO RCP FOR EXTENT OF CUSTOM COLOR AREAS
- 12 REFER TO ELECTRICAL DRAWINGS FOR TELECOM DEVICES LOCATED ABOVE CEILING

RATED WALL LEGEND


-  1 HOUR FIRE BARRIER
-  2 HOUR FIRE BARRIER
-  2 HOUR FIRE WALL
-  SMOKE TIGHT PARTITION



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Owner
 UNIVERSITY OF SOUTH CAROLINA

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Project Title
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14211-00

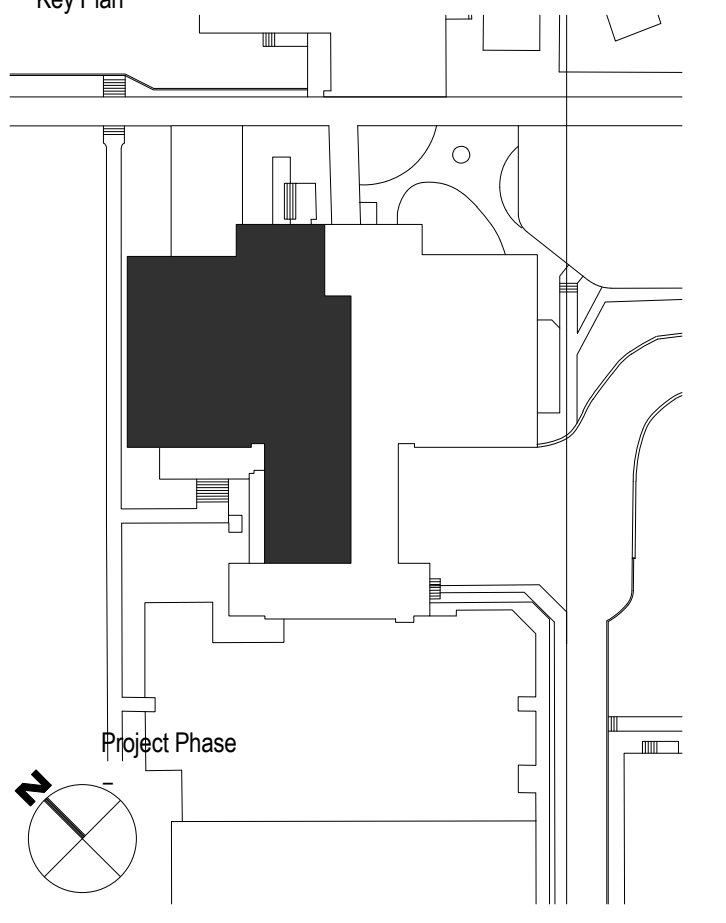
Seals/Signature

Issued for
ISSUED FOR CONSTRUCTION

Date
AUGUST 8, 2014

Number	Item	Date
1	ADDENDUM #1	08/04/2014

Key Plan



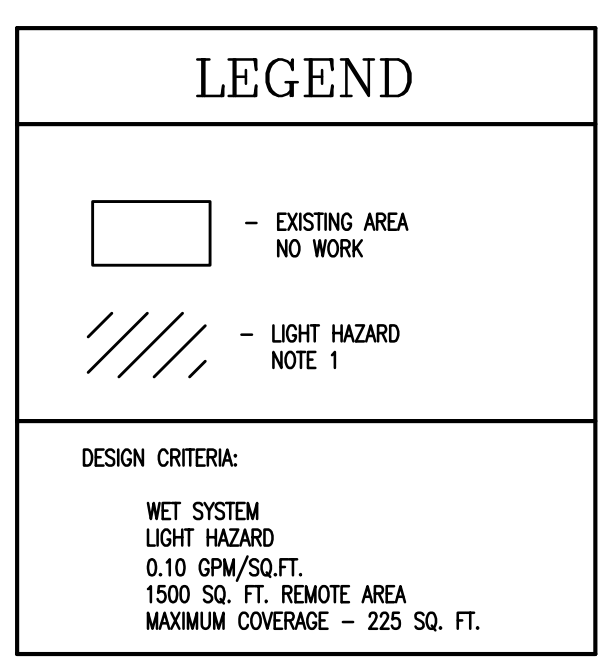
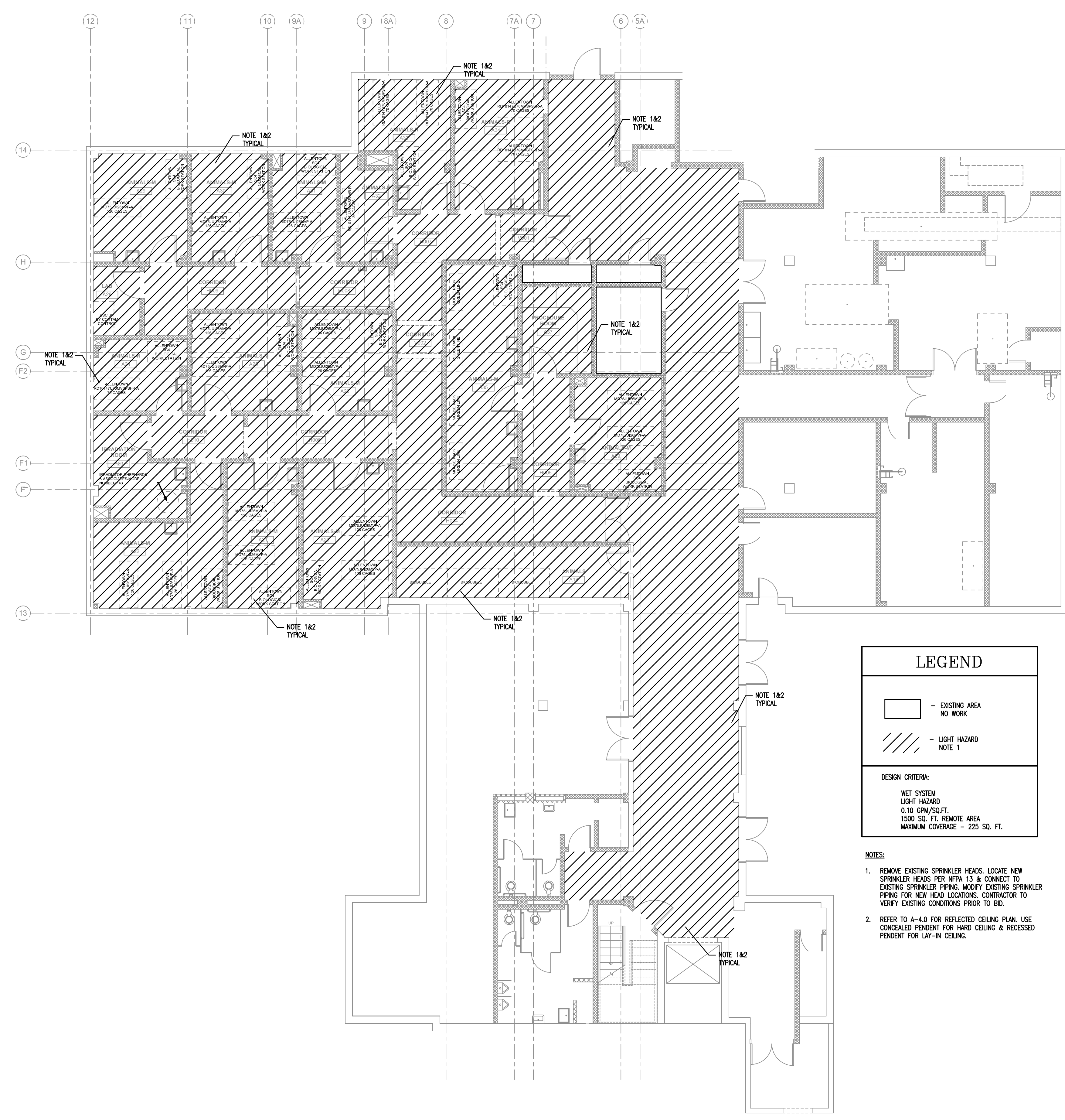
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REFLECTED CEILING PLAN

Sheet Number
A-4.0

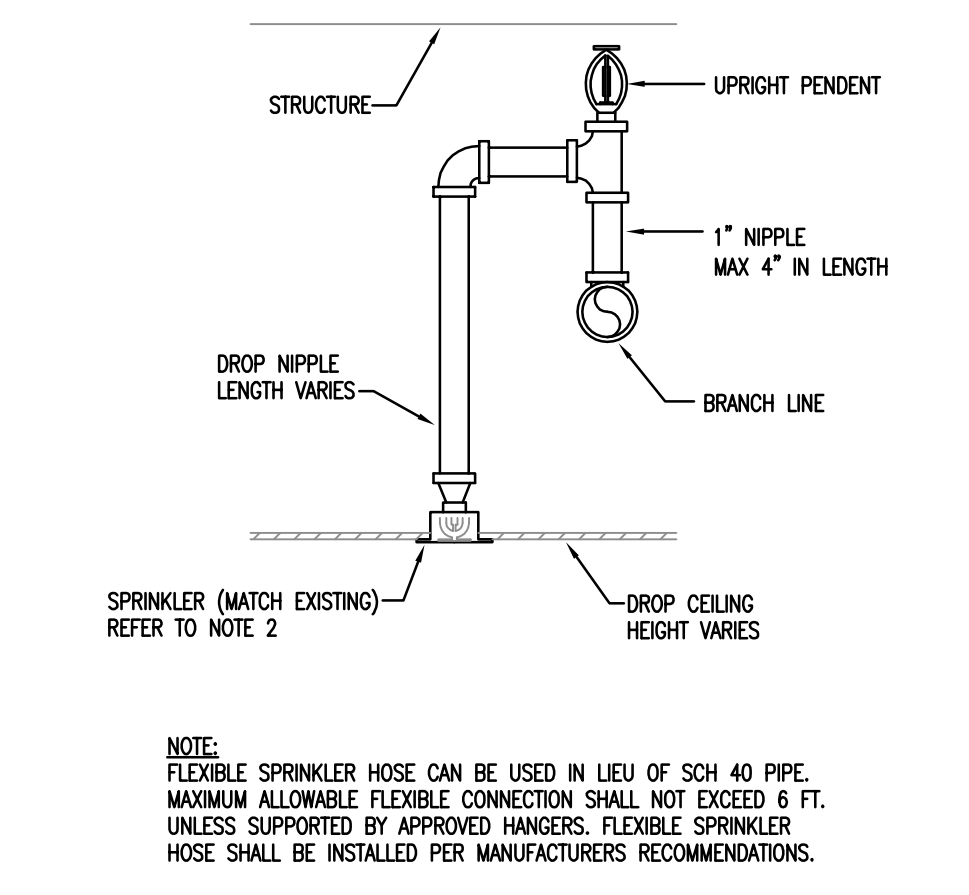
Drawn By BHC
Checked By MN

FIRE PROTECTION GENERAL NOTES

1. SYSTEMS SHALL COMPLY WITH N.F.P.A. 13 & 14 & ALL APPLICABLE STATE & LOCAL CODES.
2. CONTRACTOR SHALL OBTAIN APPLICABLE PERMITS & LICENSES
3. INSPECTIONS & FINAL APPROVAL BY FIRE DEPARTMENT & ARCHITECT / ENGINEER.
4. PIPE ROUTING SHALL BE COORDINATED WITH OTHER TRADES TO MAINTAIN PROPER CLEARANCES. FIRE PROTECTION CONTRACTOR TO VERIFY STRUCTURAL, MECHANICAL, ELECTRICAL INSTALLATIONS & AVOID ANY / ALL OBSTRUCTIONS OR INTERFERENCES WITH FIRE PROTECTION PIPE ROUTING.
5. ABOVE CEILING HORIZONTAL FIRE PROTECTION PIPING SHALL BE RUN AS CLOSE TO CEILING CONSTRUCTION & LIGHTING AS POSSIBLE (U.N.O.)
6. REFER TO ARCHITECTURAL REFLECTED CEILING & ELECTRICAL LIGHTING DRAWINGS FOR CEILING DESCRIPTIONS & HEIGHTS.
7. PROVIDE FIRE RATED SLEEVES & FIRE STOP ALL PENETRATIONS OF SMOKE / FIRE WALLS, CEILING, ETC.
8. PROVIDE ACCESS PANELS TO ALL VALVES ABOVE NON-ACCESSIBLE CEILING & WALLS. COORDINATE WITH ARCHITECTURAL DRAWINGS.
9. SPRINKLER HEADS ARE TO BE COORDINATED WITH ALL DIFFUSERS, GRILLES, LIGHTING FIXTURES & CEILING SYSTEMS.
10. FIRE PROTECTION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, SUPPLYING & INSTALLING SPRINKLER HEADS AT PENETRATION LOCATIONS PROVIDED BY CEILING SUBCONTRACTOR.
11. SPRINKLER HEADS SHALL BE INSTALLED IN THE CENTER OF THE ACoustICAL TILE PANEL.
12. ON SHOP DRAWINGS INDICATE CENTER TO CENTER DIMENSIONS & / OR PIPE CUT LENGTHS & NOMINAL PIPE DIAMETERS ON ALL PIPING.
13. INDICATE PIPE TYPE, SCHEDULE OF WALL THICKNESS & METHOD OF JOINING ON SHOP DRAWINGS.
14. PROVIDE THE ROOM NAMES FOR EACH AREA ON SHOP DRAWINGS.
15. PROVIDE STOCK OF EXTRA SPRINKLER HEADS IN ACCORDANCE WITH N.F.P.A. 13 3-18.7.3.
16. SHOP DRAWINGS SHOULD PROVIDE DETAIL & INDICATE TYPE OF HANGER TO BE INSTALLED FOR SPRINKLER PIPING.
17. MATERIAL SUBMITTALS SHALL BE SUBMITTED TO ARCHITECT / ENGINEER & SHALL BE APPROVED BEFORE ANY INSTALLATION.
18. PIPE 2" OR SMALLER SHALL BE STEEL, SCHEDULE 40, BLACK & IN ACCORDANCE WITH SPECIFICATION ASTM A120.
19. SCHEDULE 40 BLACK STEEL PIPE SHALL BE JOINED BY SCREWED JOINTS IN ACCORDANCE WITH SPECIFICATION ANSI B2.1.
20. PIPE 2-1/2" OR LARGER GROOVED PIPE SHALL BE STEEL, SCHEDULE 10, BLACK.
21. AUTOMATIC SPRINKLER TEMPERATURE RATINGS TO BE IN ACCORDANCE WITH N.F.P.A. 13.
22. METHODS OF HANGING PIPES, HEADERS & BRANCHES SHALL BE APPROVED BY N.F.P.A. 13. ALL HANGERS ON 4" PIPE & LARGER SHALL BE CLOSURE TYPE HANGERS. HANGERS SHALL NOT INTERFERE WITH ANY OTHER TRADE.
23. ALL VALVES FOR FIRE SERVICE SHALL BE APPROVED BY THE UNDERWRITER'S LABORATORIES INC., & THE FACTORY MUTUAL LABORATORIES. VALVES SHALL BE MARKED "UL" & "FM", 175 P.S.I. WORKING PRESSURE.
24. NO SPRINKLER HEAD SHALL BE INSTALLED FURTHER THAN 7'-6" FROM A MAGNETICALLY HELD OPEN SMOKE DOOR.
25. SPRINKLERS SHALL COVER THE ENTIRE AREA OF THE ROOM INCLUDING ALCOVES. SPRAY SHALL NOT BE BLOCKED BY WALLS OR PARTITIONS.
26. THE FIRE PROTECTION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS, THE ARCHITECTURAL PLANS & / OR FIELD CONDITIONS PRIOR TO CONSTRUCTION.
27. MAKE NO CHANGES WITHOUT ARCHITECT / ENGINEER'S WRITTEN PERMISSION. IN CASE OF DISPUTE OR DOUBT AS TO INTENT OF DRAWINGS OR SPECIFICATIONS, OBTAIN ARCHITECT / ENGINEER'S DECISION BEFORE PROCEEDING WITH WORK INVOLVED. FAILURE TO FOLLOW THIS INSTRUCTION SHALL MAKE THE CONTRACTOR LIABLE FOR DAMAGE TO OTHER WORK & FOR REMOVING & REPAIRING DEFECTIVE OR MISLOCATED WORK IN PROPER MANNER.
28. BEFORE SUBMITTING PROPOSAL OF BID, THIS TRADE SHALL EXAMINE ALL DRAWINGS & SPECIFICATIONS RELATING TO THIS PROJECT. THE AMOUNT OF SPACE AVAILABLE FOR PIPING EQUIPMENT & CONNECTING SERVICES, THE SITE OF THE WORK, THE REQUIREMENTS TO CORRELATE THE FIRE PROTECTIONS WORK WITH THAT OF OTHER TRADES, & THE TIME SCHEDULE NECESSARY TO PERFORM THE WORK.
29. THIS TRADE, AFTER EXAMINATION OF ALL PLANS & SPECIFICATIONS, SHALL INCLUDE ALL THE COSTS NECESSARY FOR A COMPLETE & FINISHED INSTALLATION IN ALL ASPECTS. IT IS THE INTENT THAT ALL COSTS FOR THE WORK REQUIRED BE INCLUDED IN THE BID OF THIS TRADE.
30. THE FIRE PROTECTION CONTRACTOR SHALL PERFORM FLOW TEST AS REQUIRED PER N.F.P.A. 13 & LOCAL CODES. FLOW TEST SHALL BE PERFORMED ON SITE & WITNESSED BY THE OWNER & ARCHITECT/ENGINEER. SUBMIT FLOW DATA WITH HYDRAULIC CALCULATIONS AS REQUIRED TO DEMONSTRATE COMPLIANCE WITH DESIGN.
31. SUBMIT HYDRAULIC CALCULATIONS PROVING THE VIABILITY OF THE MOST HYDRAULICALLY REMOTE AREAS OF THE PROJECT. INDICATE HYDRAULIC REFERENCE POINTS & SUBMIT COMPUTER ANALYZED MODAL CALCULATIONS IN BOTH TABULAR & GRAPHICAL FORMATS. HYDRAULIC IMBALANCE SHALL NOT EXCEED 0.01 GPM AT A NODE & WATER VELOCITY SHALL NOT EXCEED 25 FEET PER SECOND. DEMONSTRATE COMPLIANCE WITH THE REQUIREMENTS OF N.F.P.A.-13 REGARDING DENSITY, AREA OF COVERAGE, SELECTION OF HYDRAULICALLY REMOTE AREAS, & MAXIMUM COVERAGE PER SPRINKLER.
32. DRAWINGS ARE PERFORMANCE SPECIFICATION LEVEL. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR A FULL DESIGN INCLUDING HYDRAULIC CALCULATIONS, SPRINKLER LAYOUT, AND PIPING DESIGN. SHOP DRAWINGS AND CALCULATIONS SHALL BE DESIGNED BY A MECHANICAL/FIRE PROTECTION ENGINEER LICENSED IN NORTH CAROLINA. CONTRACTOR PROVIDED ENGINEER SHALL COMPLETELY REVIEW ALL DOCUMENTS AND STAMP AND SIGN FSSS AND COC DOCUMENTS.



- NOTES:**
1. REMOVE EXISTING SPRINKLER HEADS. LOCATE NEW SPRINKLER HEADS PER N.F.P.A. 13 & CONNECT TO EXISTING SPRINKLER PIPING. MODIFY EXISTING SPRINKLER PIPING FOR NEW HEAD LOCATIONS. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID.
 2. REFER TO A-4.0 FOR REFLECTED CEILING PLAN. USE CONCEALED PENDENT FOR HARD CEILING & RECESSED PENDENT FOR LA-IN CEILING.



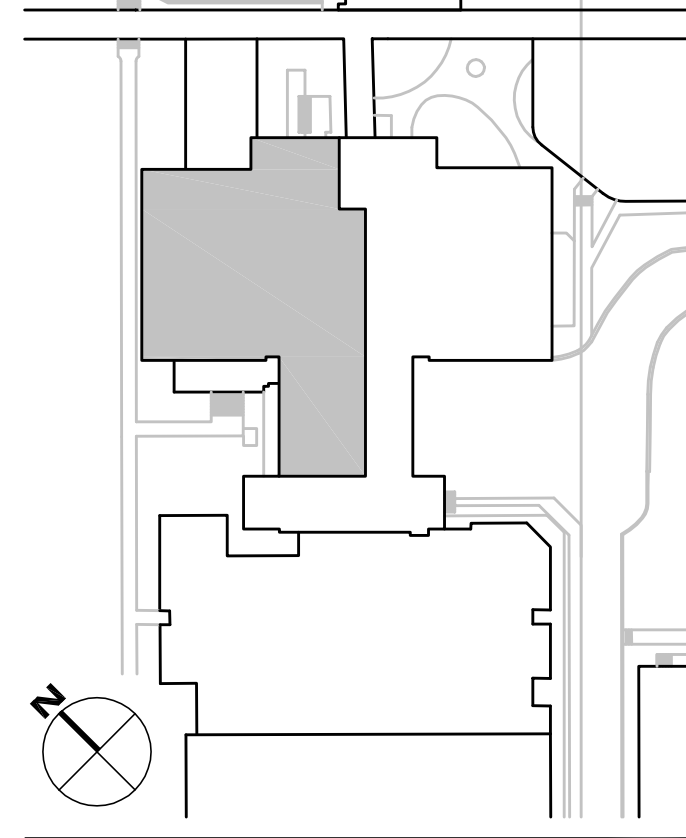
1 PARTIAL BASEMENT PLAN - PROTECTION PLAN
1/8"=1'-0"

issued for
ISSUED FOR CONSTRUCTION

date
JUNE 30, 2014

number	item	date
1	ADDRESS #1	6/30/14

key plan



sheet title
FIRE PROTECTION PARTIAL BASEMENT PLAN

sheet number
FP1.0

drawn by **JJR**
checked by **JDR**



project name
USC School of Medicine
Building 4 Animal Care Renovations
State Project # H27-Z152
A/E project number
14015.01

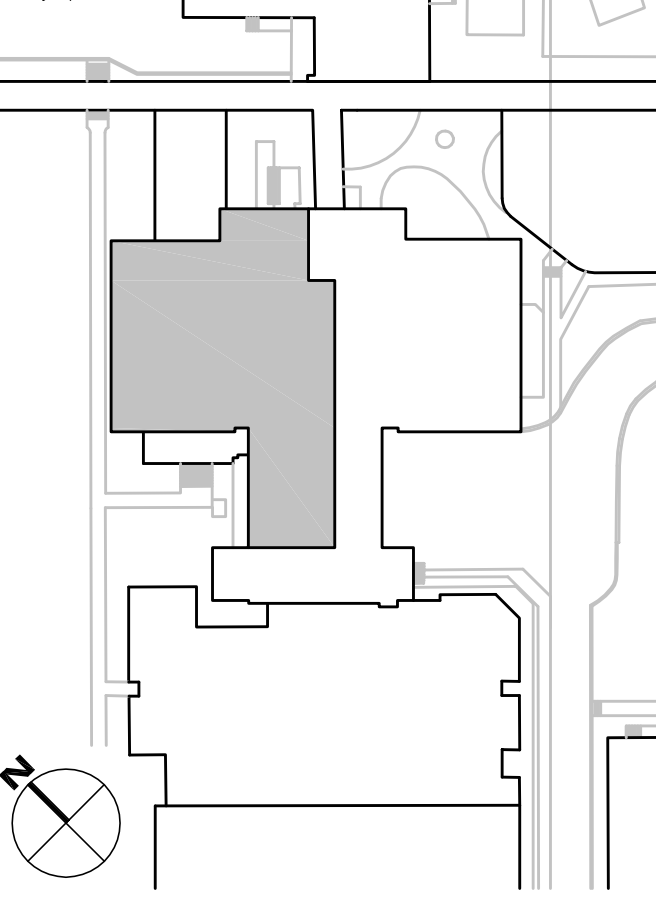
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issued for
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date
JUNE 30, 2014

number	item	date
▲	ADDENDUM NO. 1	06/4/14

key plan

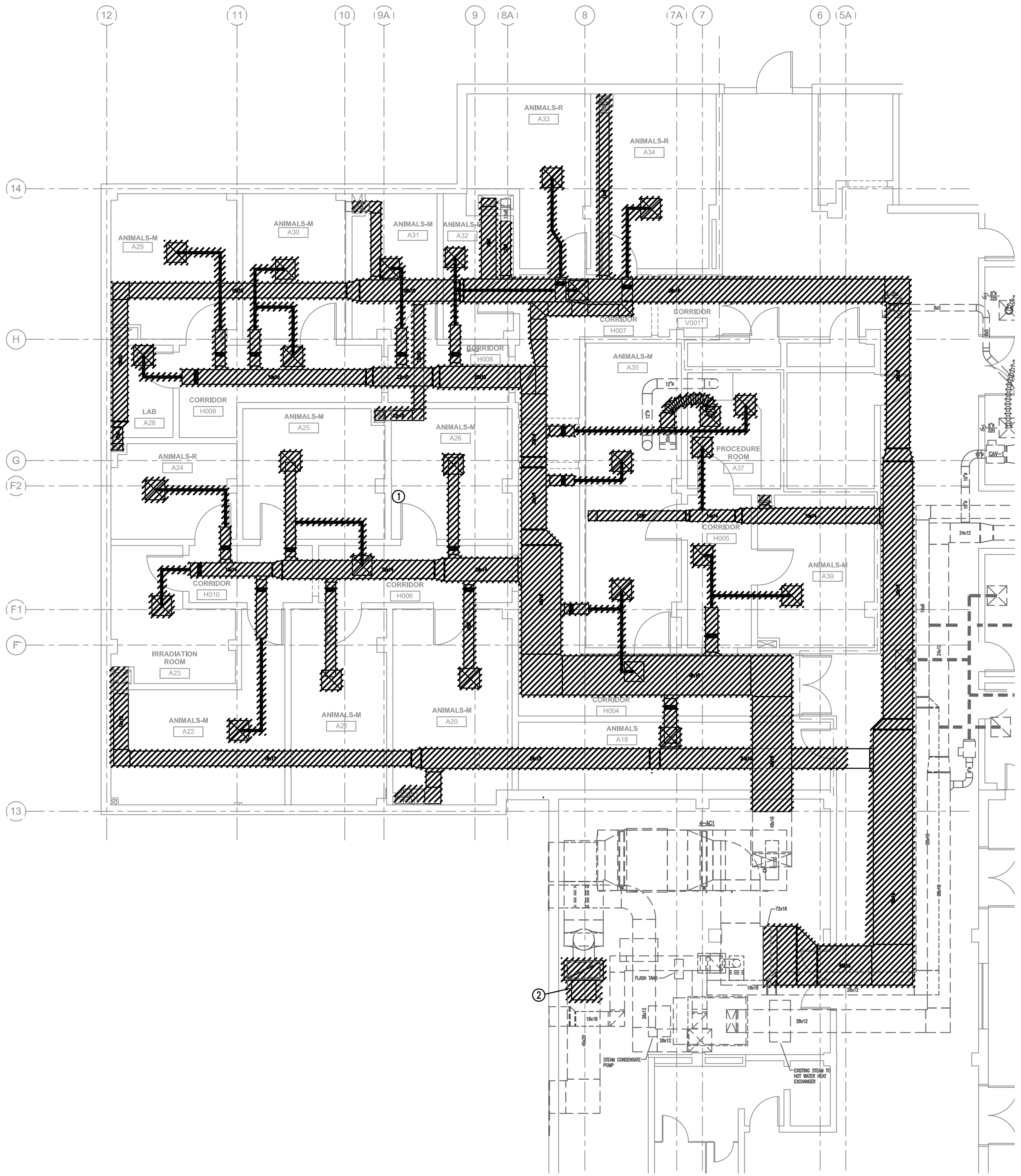


sheet title
PARTIAL BASEMENT PLAN - HVAC DEMOLITION

sheet number

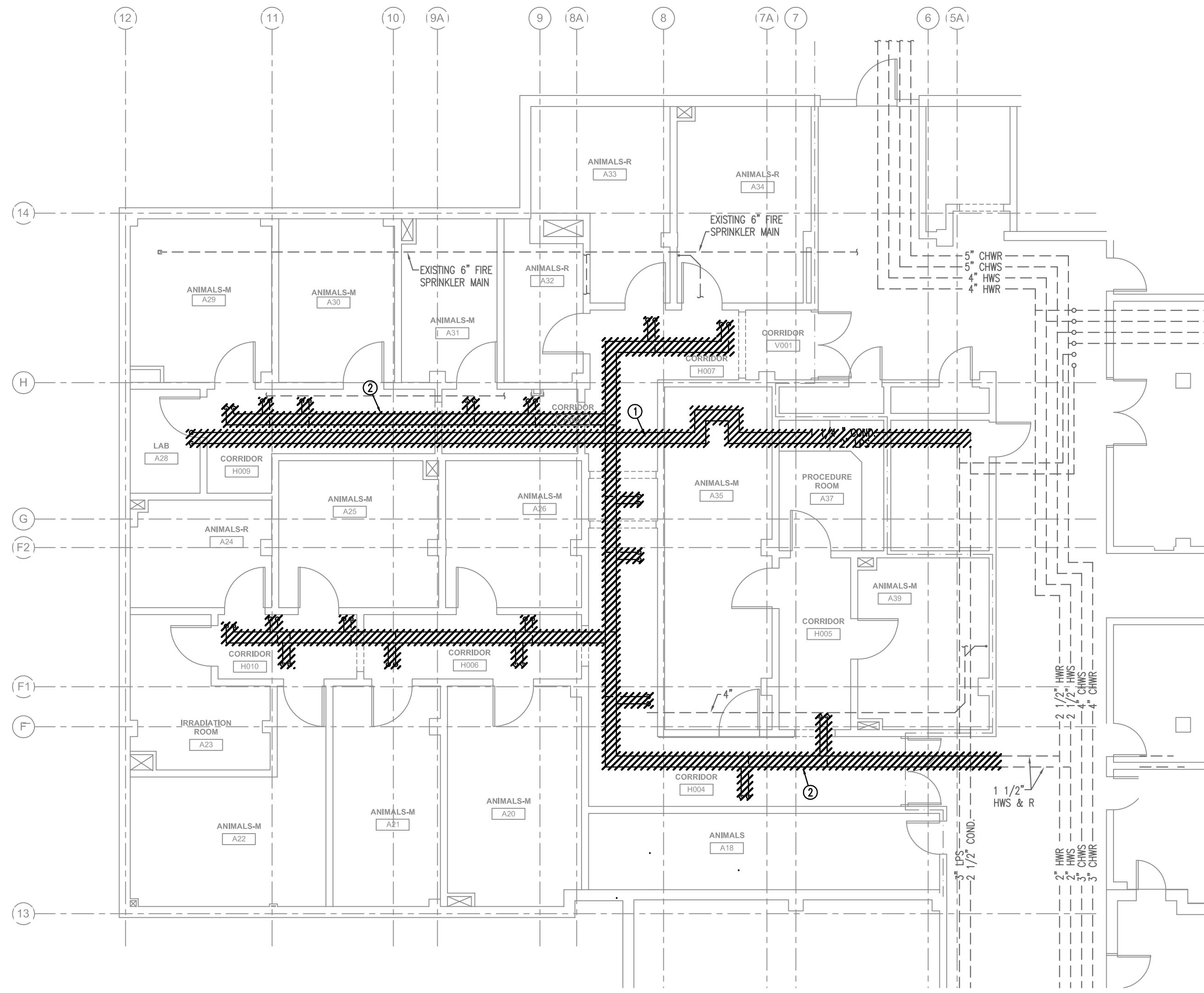
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drawn by JDR
checked by JWB



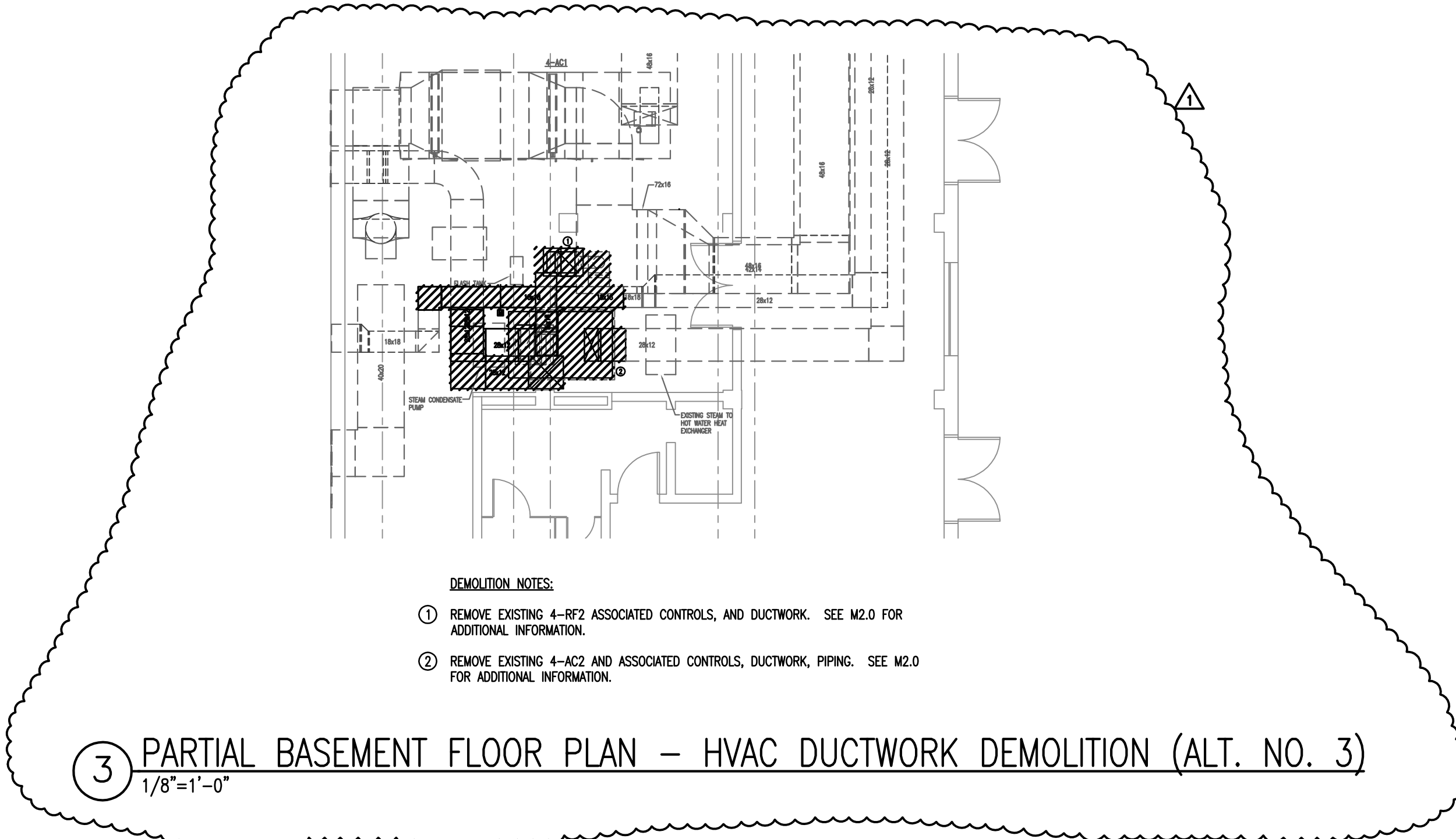
- DEMOLITION NOTES:
- ① REMOVE ALL DUCTWORK, REHEAT COILS, AND GRILLES AS INDICATED ON DEMOLITION DRAWINGS.
 - ② REMOVE EXISTING 4RF-1 IN MECHANICAL ROOM. REFER TO RENOVATION DRAWINGS FOR ADDITIONAL INFORMATION.

① PARTIAL BASEMENT FLOOR PLAN – HVAC DUCTWORK DEMOLITION
1/8"=1'-0"



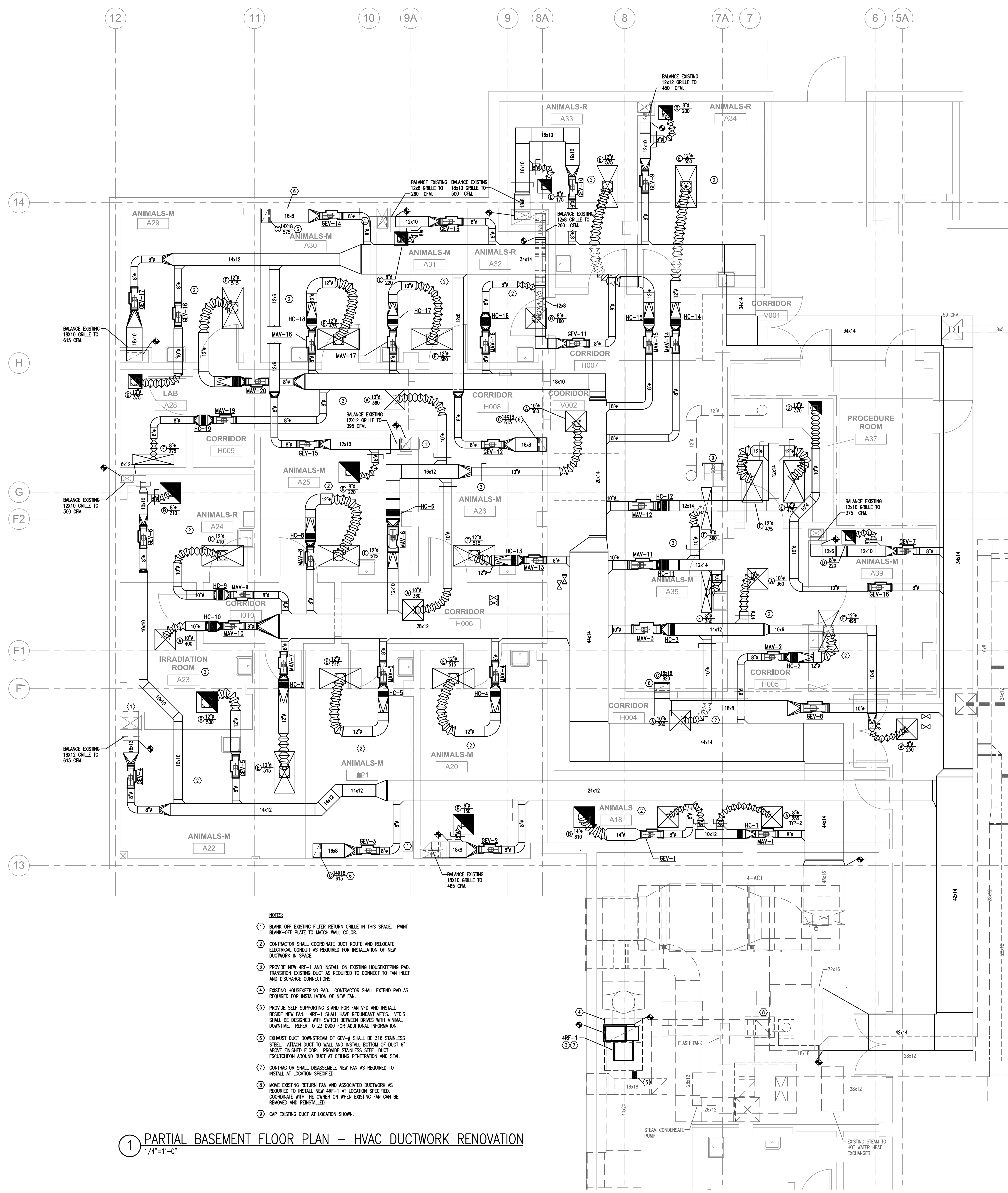
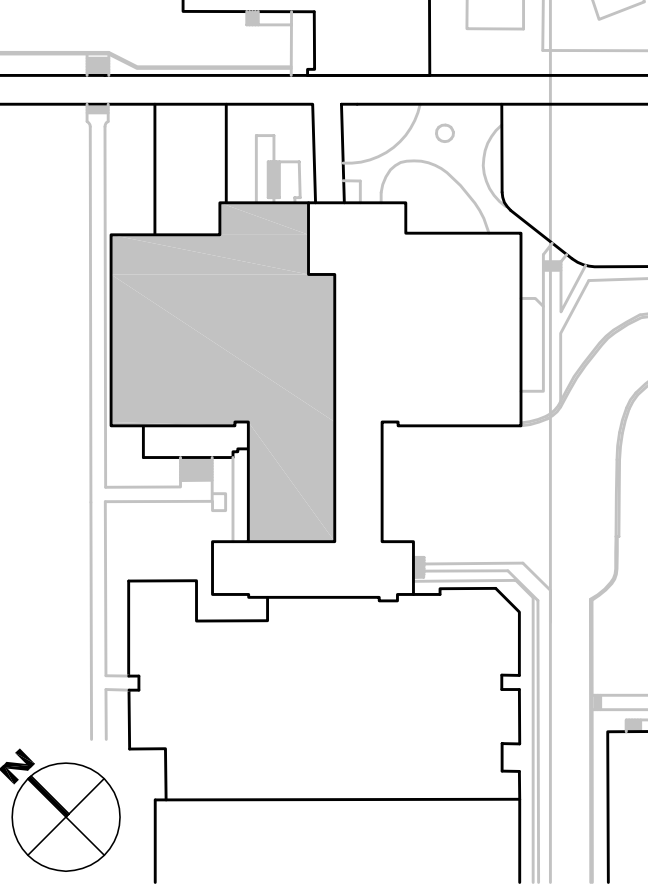
- PIPING DEMOLITION NOTES:
- ① REMOVE EXISTING STEAM AND STEAM CONDENSATE LINES BACK TO MAINS.
 - ② REMOVE EXISTING HOT WATER SUPPLY AND RETURN WATER PIPING AS INDICATED. SEE RENOVATION DRAWINGS FOR CONTINUATION.

② PARTIAL BASEMENT FLOOR PLAN – HVAC PIPING DEMOLITION
1/8"=1'-0"

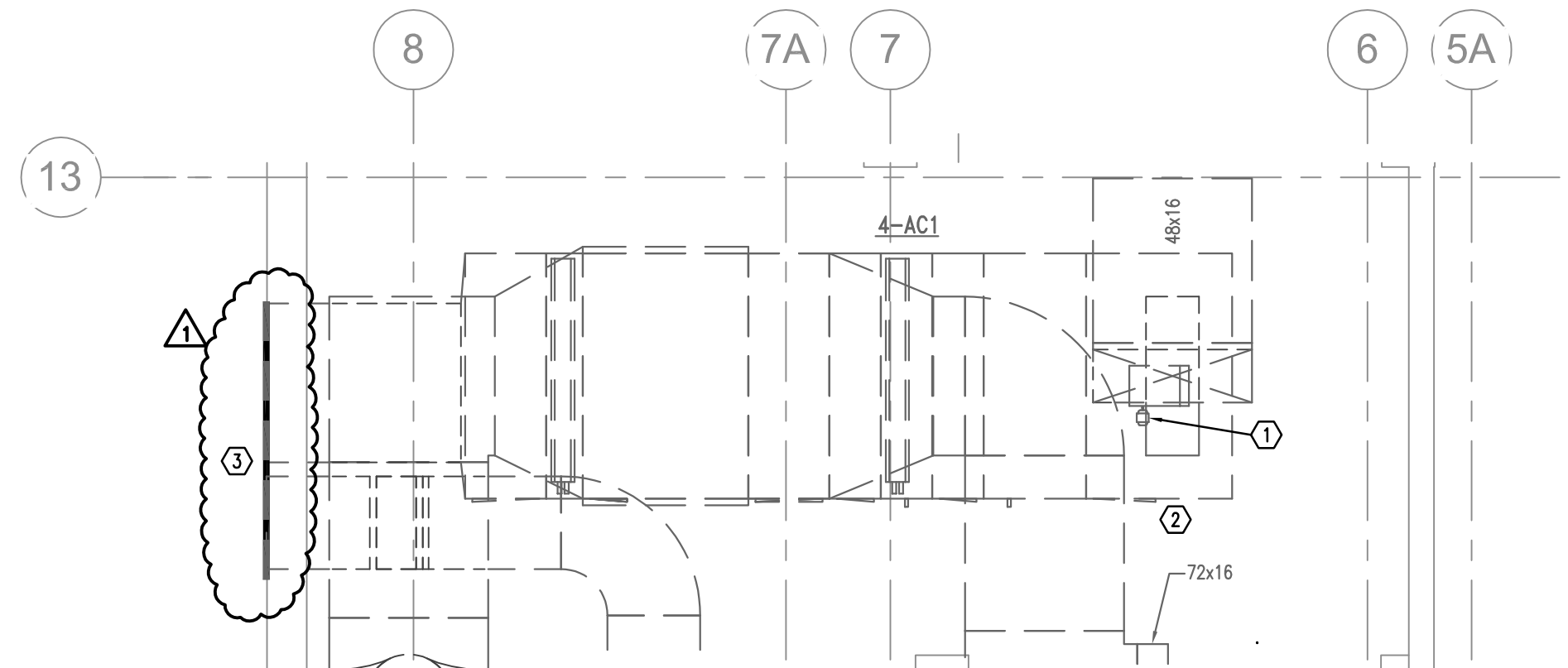


- DEMOLITION NOTES:
- ① REMOVE EXISTING 4-RF2 ASSOCIATED CONTROLS, AND DUCTWORK. SEE M2.0 FOR ADDITIONAL INFORMATION.
 - ② REMOVE EXISTING 4-AC2 AND ASSOCIATED CONTROLS, DUCTWORK, PIPING. SEE M2.0 FOR ADDITIONAL INFORMATION.

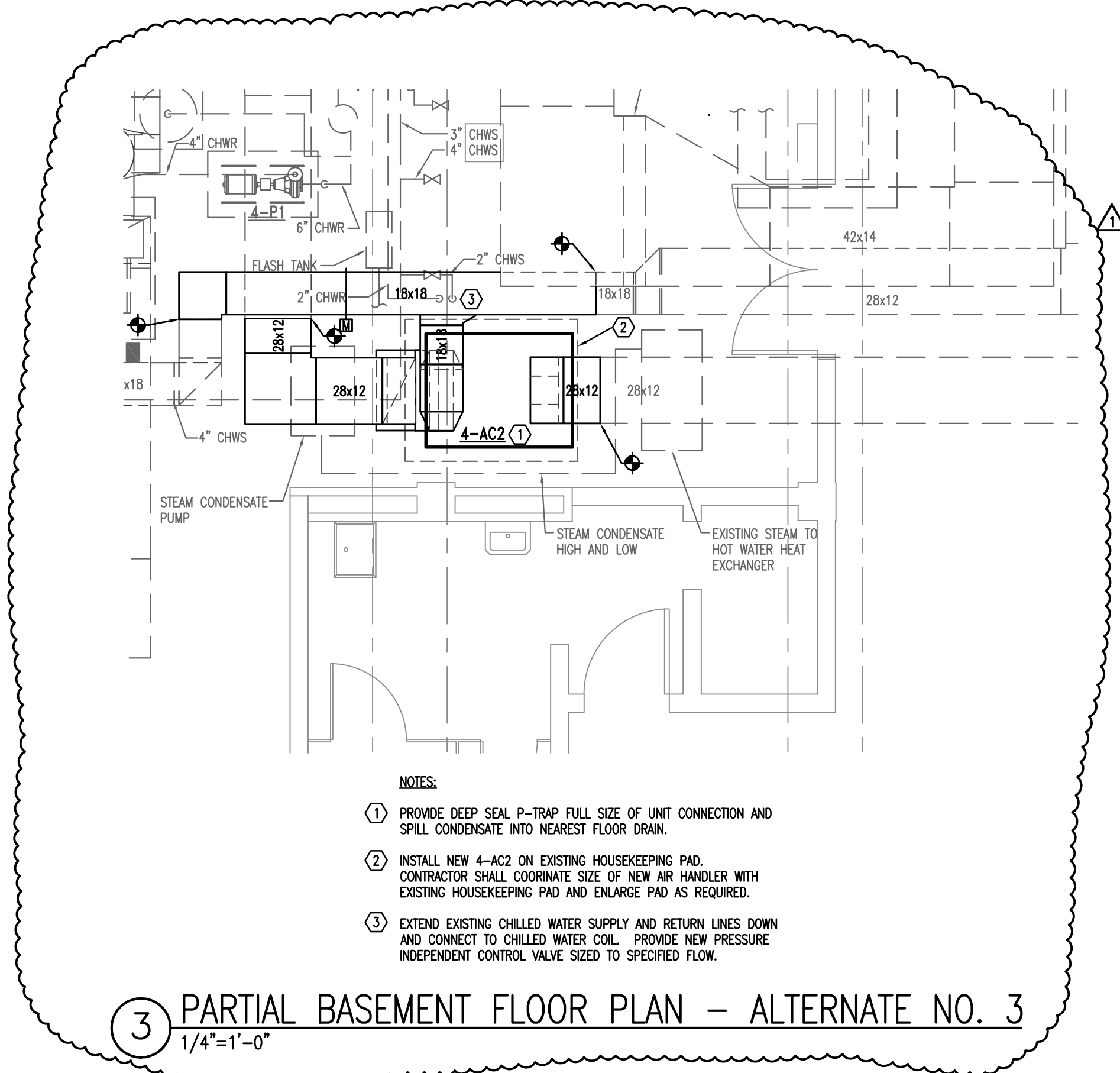
③ PARTIAL BASEMENT FLOOR PLAN – HVAC DUCTWORK DEMOLITION (ALT. NO. 3)
1/8"=1'-0"



1 PARTIAL BASEMENT FLOOR PLAN - HVAC DUCTWORK RENOVATION
1/4"=1'-0"



2 PARTIAL BASEMENT FLOOR PLAN - ALTERNATE NO. 2
1/4"=1'-0"



3 PARTIAL BASEMENT FLOOR PLAN - ALTERNATE NO. 3
1/4"=1'-0"

- NOTES:
- BLANK OFF EXISTING FILTER RETURN GRILLE IN THIS SPACE. PAINT BLANK-OFF PLATE TO MATCH WALL COLOR.
 - CONTRACTOR SHALL COORDINATE DUCT ROUTE AND RELOCATE ELECTRICAL CONDUIT AS REQUIRED FOR INSTALLATION OF NEW DUCTWORK IN SPACE.
 - PROVIDE NEW 4RF-1 AND INSTALL ON EXISTING HOUSEKEEPING PAD. TRANSITION EXISTING DUCT AS REQUIRED TO CONNECT TO FAN INLET AND DISCHARGE CONNECTIONS.
 - EXISTING HOUSEKEEPING PAD. CONTRACTOR SHALL EXTEND PAD AS REQUIRED FOR INSTALLATION OF NEW FAN.
 - PROVIDE SELF-SUPPORTING STAND FOR FAN VFD AND INSTALL BESIDE NEW FAN. 4RF-1 SHALL HAVE REDUNDANT VFD'S. VFD'S SHALL BE DESIGNED WITH SWITCH BETWEEN DRIVES WITH MANUAL DOWNTIME. REFER TO 23 0900 FOR ADDITIONAL INFORMATION.
 - EXHAUST DUCT DOWNSTREAM OF GEV-# SHALL BE 316 STAINLESS STEEL. ATTACH DUCT TO WALL AND INSTALL BOTTOM OF DUCT 6" ABOVE FINISHED FLOOR. PROVIDE STAINLESS STEEL DUCT ESCUTCHEON AROUND DUCT AT CEILING PENETRATION AND SEAL.
 - CONTRACTOR SHALL DISASSEMBLE NEW FAN AS REQUIRED TO INSTALL AT LOCATION SPECIFIED.
 - MOVE EXISTING RETURN FAN AND ASSOCIATED DUCTWORK AS REQUIRED TO INSTALL NEW 4RF-1 AT LOCATION SPECIFIED. COORDINATE WITH THE OWNER ON WHEN EXISTING FAN CAN BE REMOVED AND REINSTALLED.
 - CAP EXISTING DUCT AT LOCATION SHOWN.

- NOTES:
- REPLACE EXISTING 1/2HP MOTOR WITH NEW 1/2 HP PREMIUM EFFICIENCY MOTOR. MOTOR SHALL BE RATED AT 480V. FRAME SIZE SHALL BE 254. MOTOR SHALL BE INSTALLED IN THE EXISTING YORK AIR HANDLER (4AC-1). REFER TO 23 0513 FOR ADDITIONAL INFORMATION.
 - PROVIDE REDUNDANT VFD'S RATED AT NEW MOTOR HP. VFD'S SHALL BE DESIGNED WITH SWITCH BETWEEN DRIVES WITH MANUAL DOWNTIME. INSTALL VFD'S AT THE SAME LOCATION AS THE EXISTING VFD'S. OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR EXISTING VFD. CONTRACTOR SHALL REMOVE EXISTING VFD AND INSTALL NEW VFD. REFER TO 23 0900 AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - REMOVE EXISTING 84X36 LOUVER AND PROVIDE NEW 84X36 LOUVER AT THE SAME LOCATION. LOUVER SHALL BE GREENHECK EVM-501 OR EQUAL. LOUVER SHALL HAVE A MAXIMUM BRPM=1250 FPM, 55.1% FREE AREA, AND MAX PD=0.25 IN WG.

- NOTES:
- PROVIDE DEEP SEAL P-TRAP FULL SIZE OF UNIT CONNECTION AND SPILL CONDENSATE INTO NEAREST FLOOR DRAIN.
 - INSTALL NEW 4-AC2 ON EXISTING HOUSEKEEPING PAD. CONTRACTOR SHALL COORDINATE SIZE OF NEW AIR HANDLER WITH EXISTING HOUSEKEEPING PAD AND DISCHARGE PAD AS REQUIRED.
 - EXTEND EXISTING CHILLED WATER SUPPLY AND RETURN LINES DOWN AND CONNECT TO CHILLED WATER COIL. PROVIDE NEW PRESSURE INDEPENDENT CONTROL VALVE SIZED TO SPECIFIED FLOW.

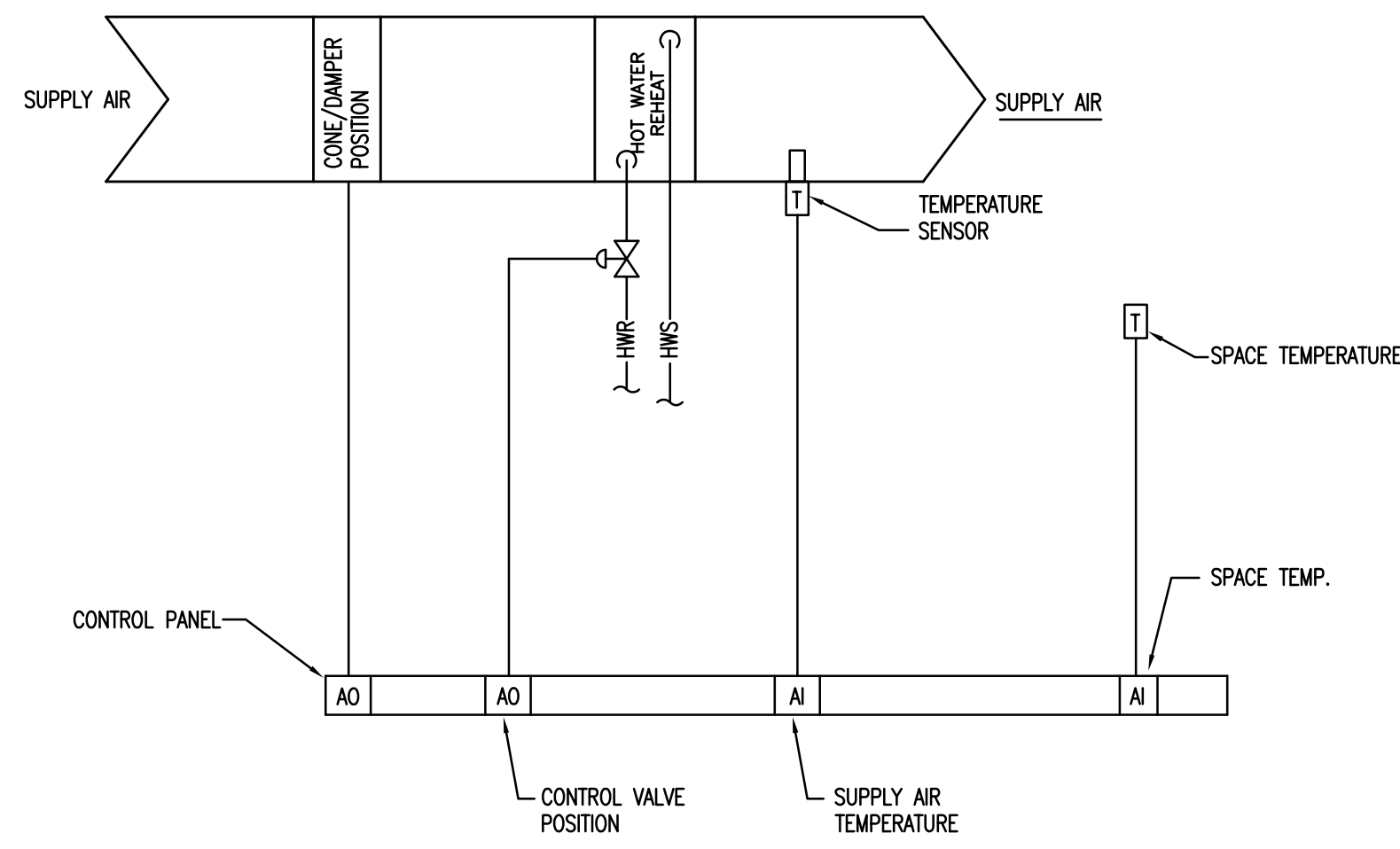
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consultants



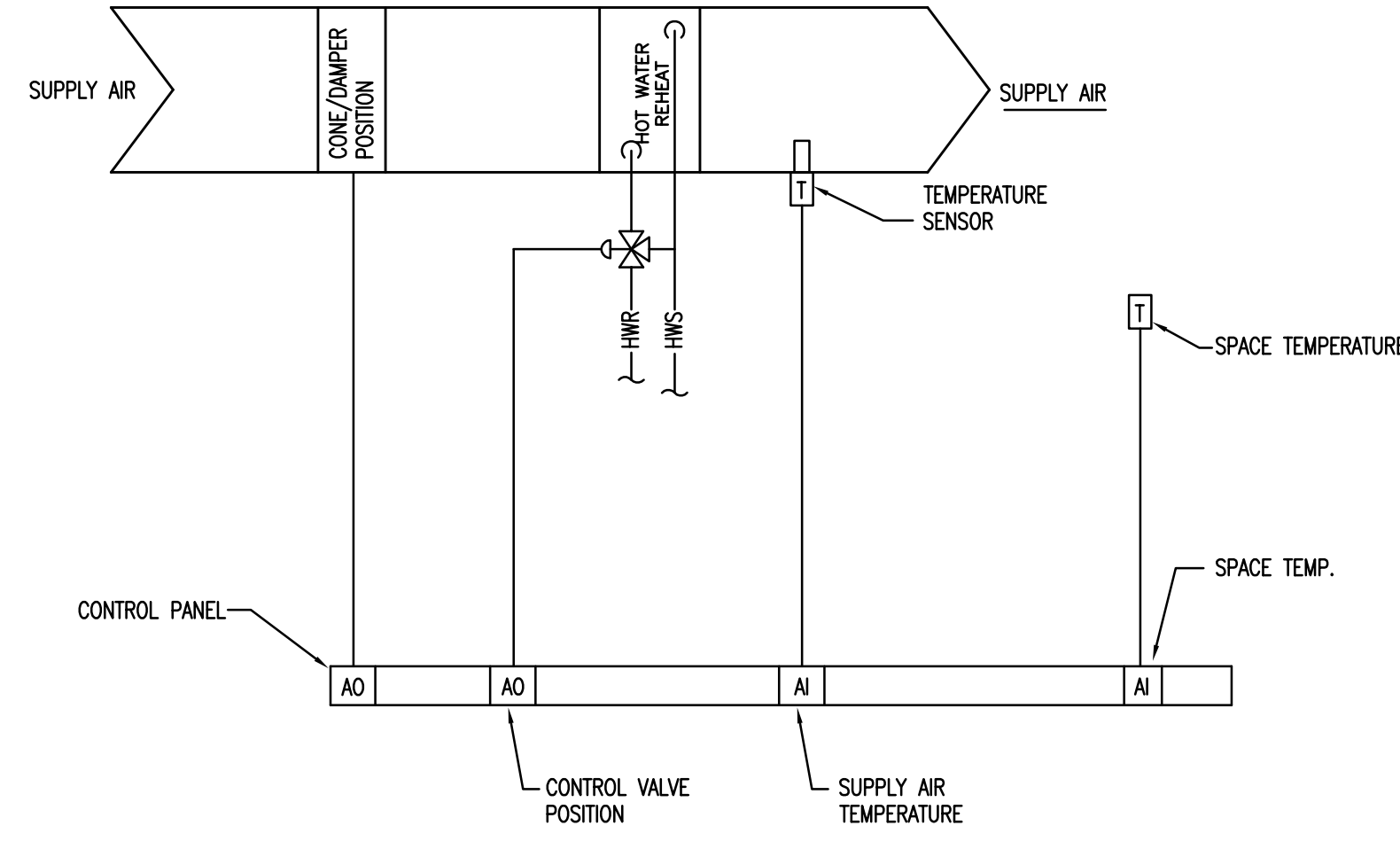
project name
**USC School of Medicine
Building 4 Animal Care Renovations**
State Project # H27-Z152
A/E project number
14015.01

seals/signature

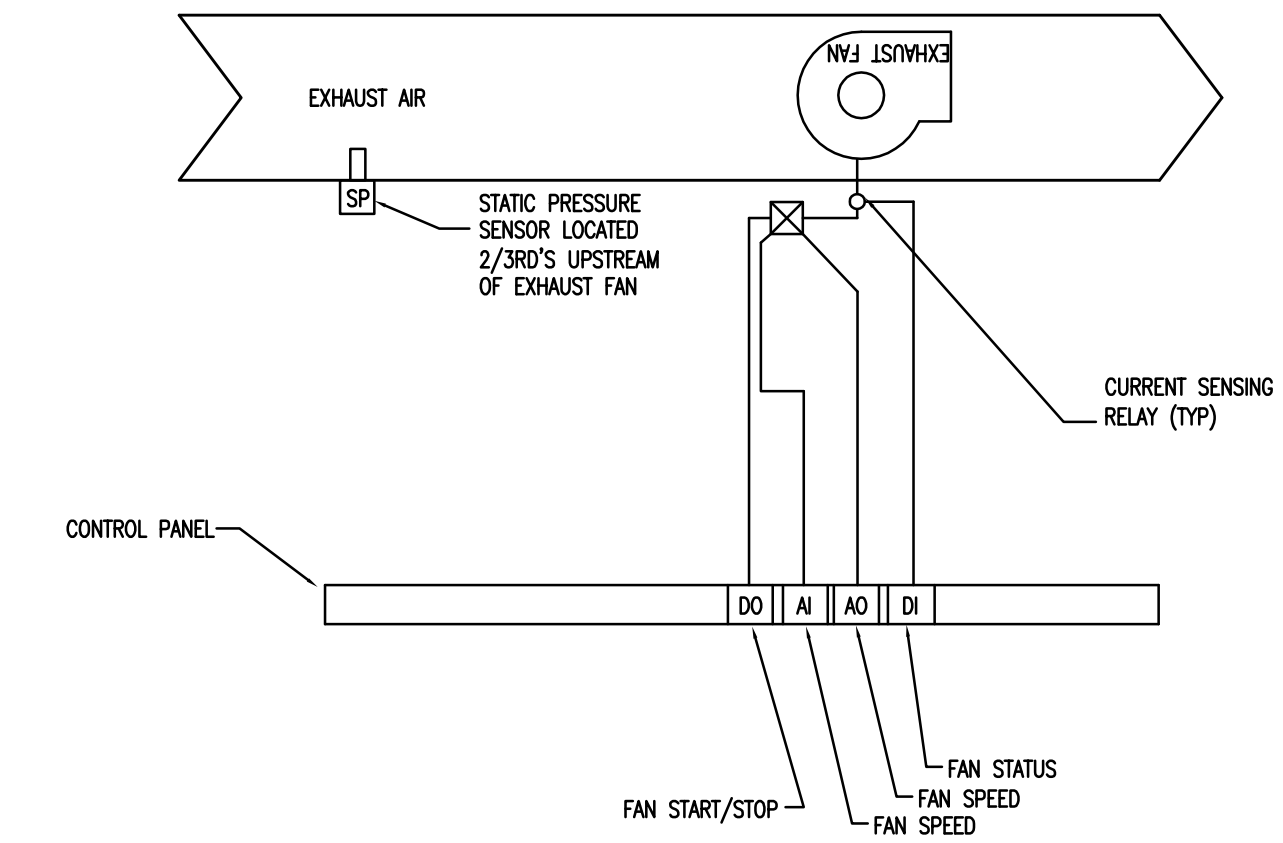


NOTES:
1. TYPICAL FOR ALL MAV BOXES UNLESS NOTED OTHERWISE

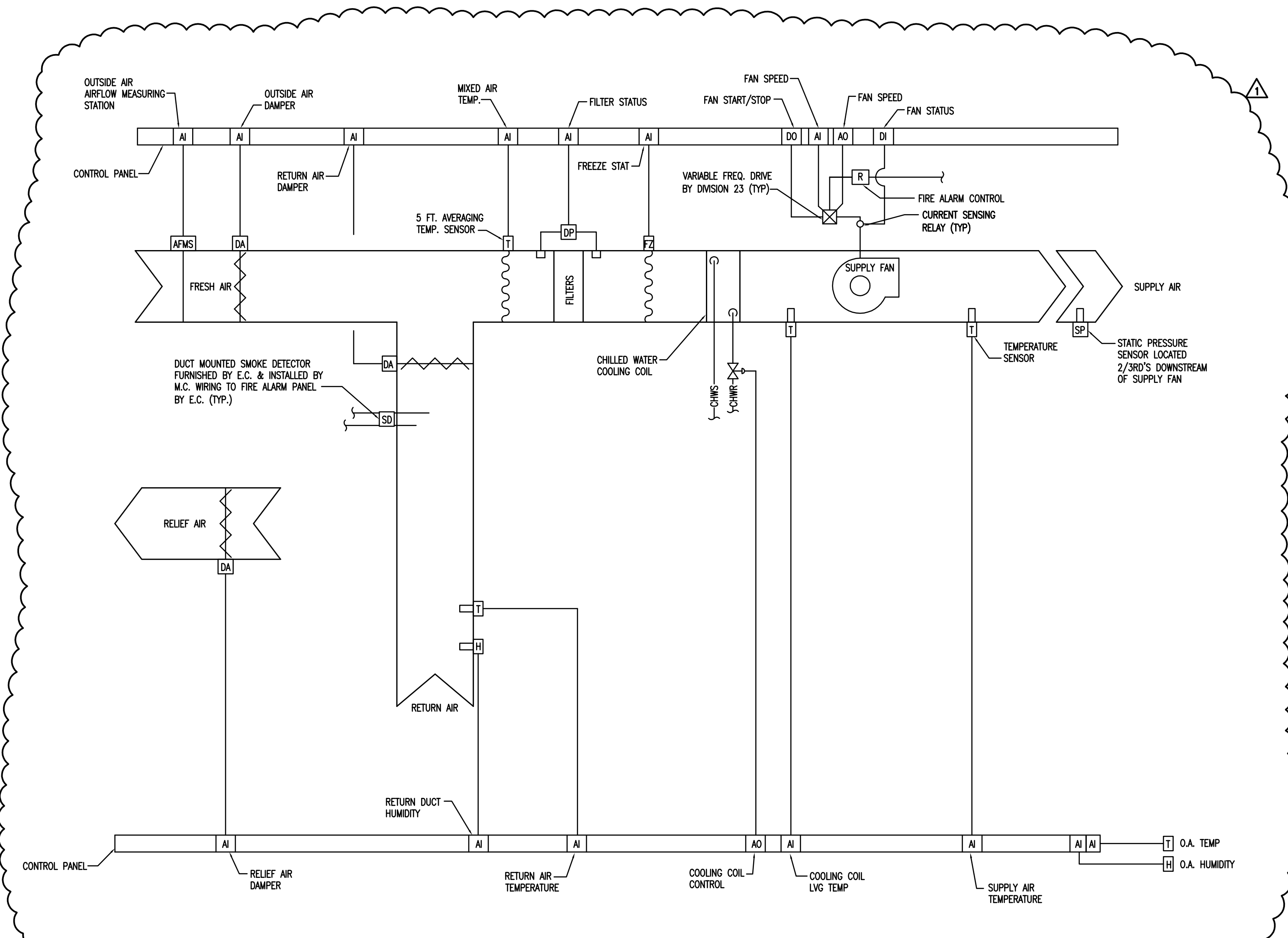
1 MAV-# CONTROL DIAGRAM
NTS



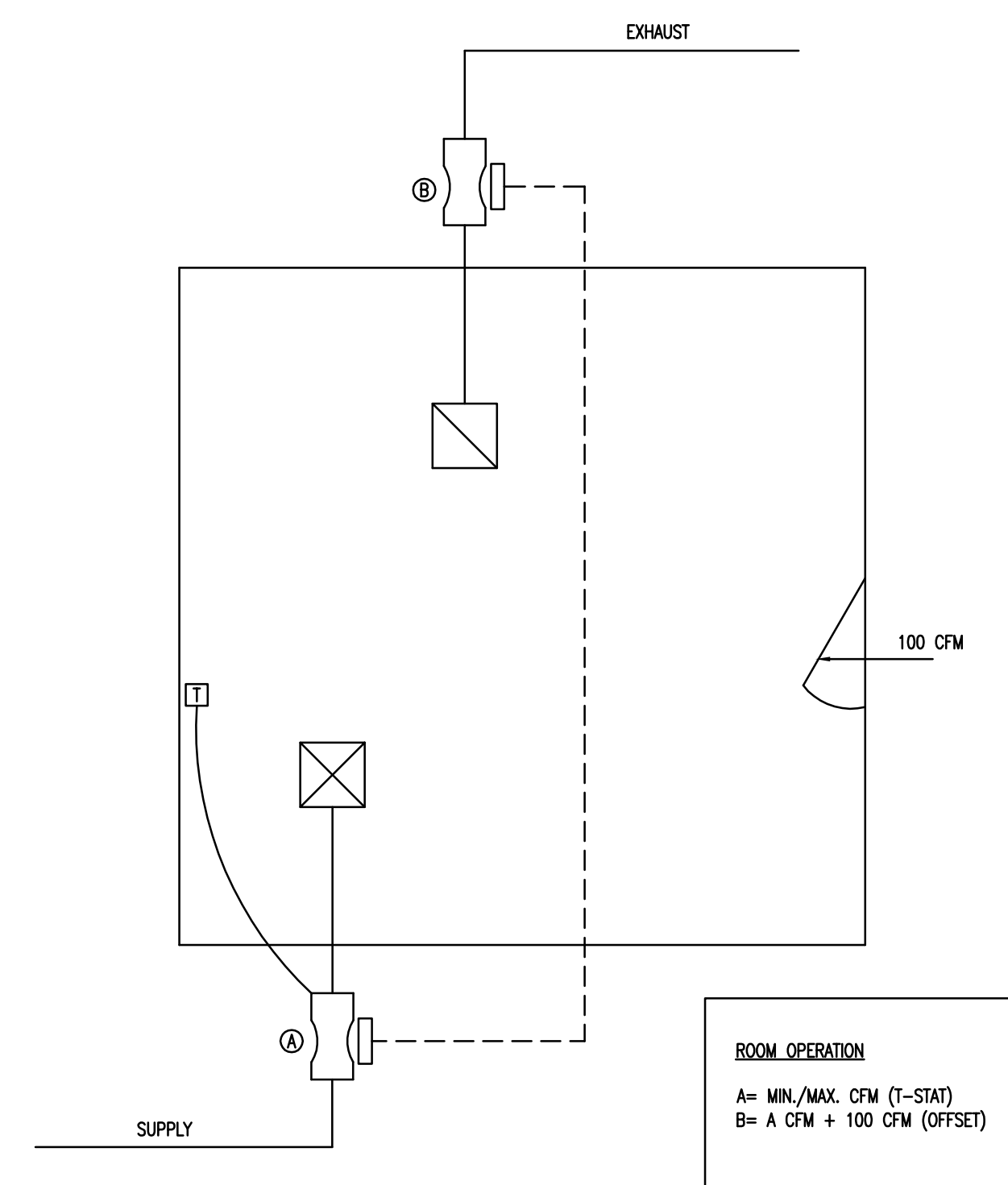
2 MAV-7 & MAV-20 CONTROL DIAGRAM
NTS



3 4RF-1 CONTROL DIAGRAM
NTS

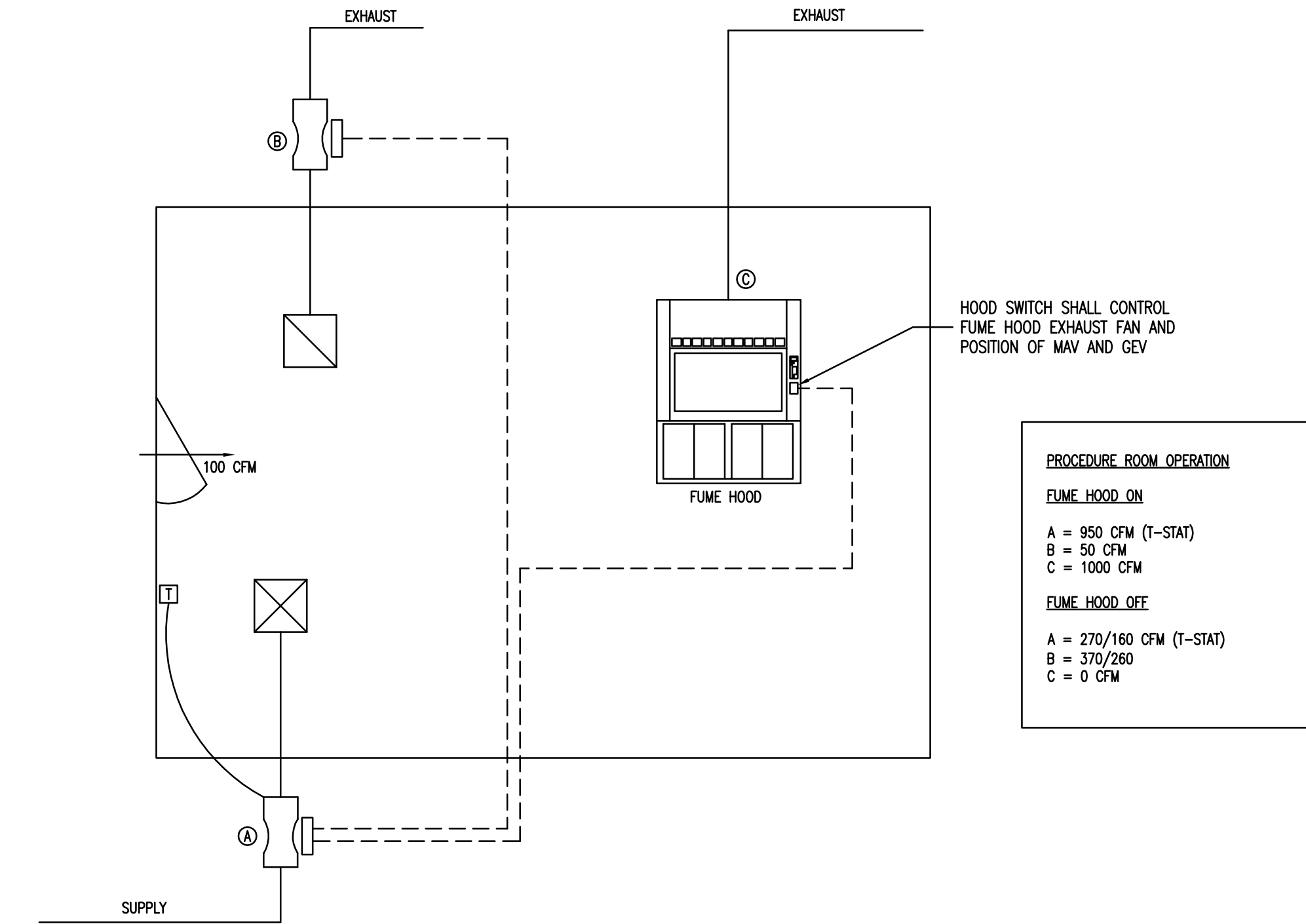


6 4-AC2 CONTROL SCHEMATIC (ALT. NO. 3)
NTS

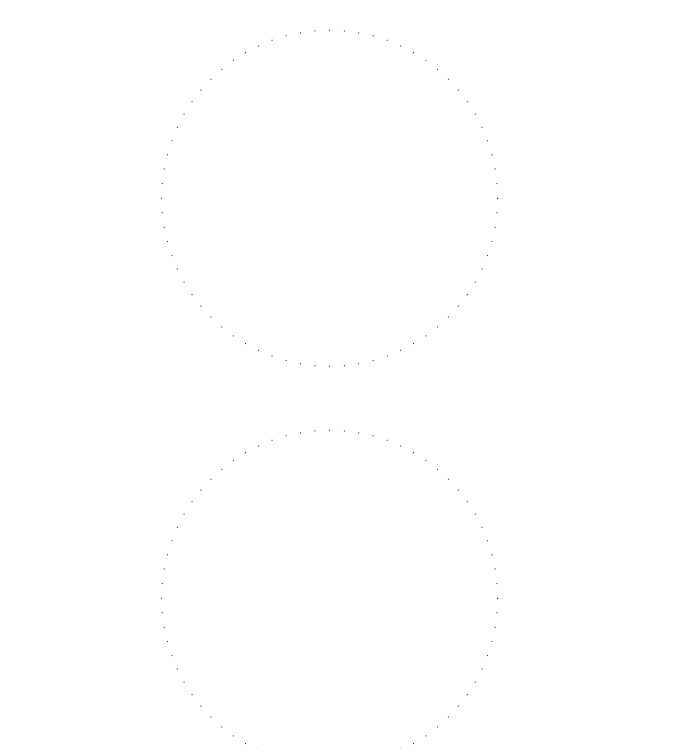


NOTES:
1. TYPICAL FOR THE FOLLOWING SPACES-A-18, A20, A21, A23, A24, A25, A26, A28, A29, A30, A31, A32, A33, A34, A35, A39.
2. REFER TO MAV SCHEDULE FOR MIN/MAX CFM VALUES.

4 ROOM CONTROL SCHEMATIC
NTS



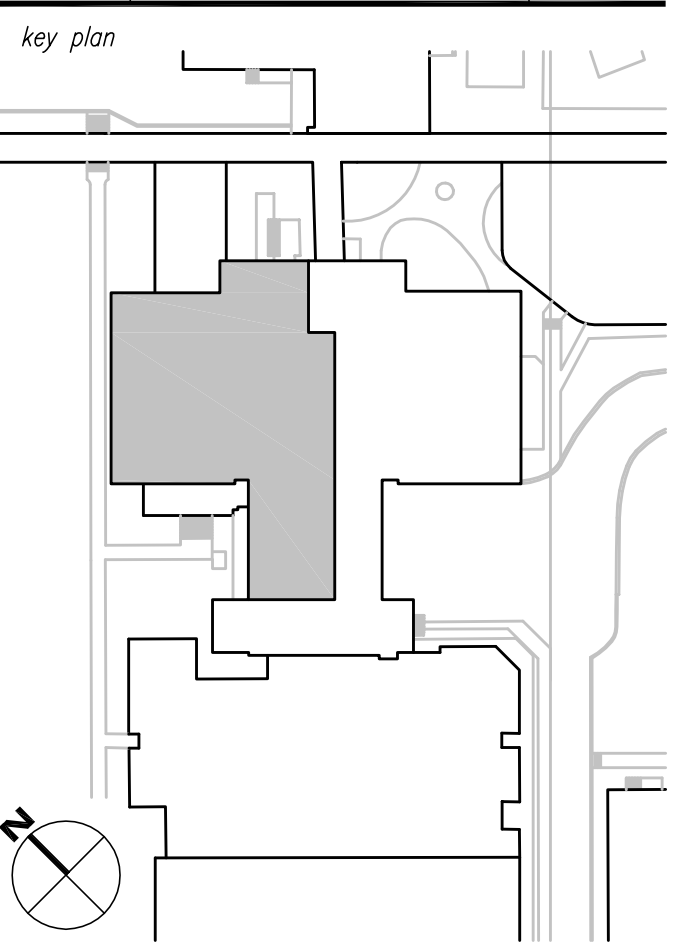
5 PROCEDURE ROOM A37 CONTROL SCHEMATIC
NTS



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date
JUNE 30, 2014

number	item	date
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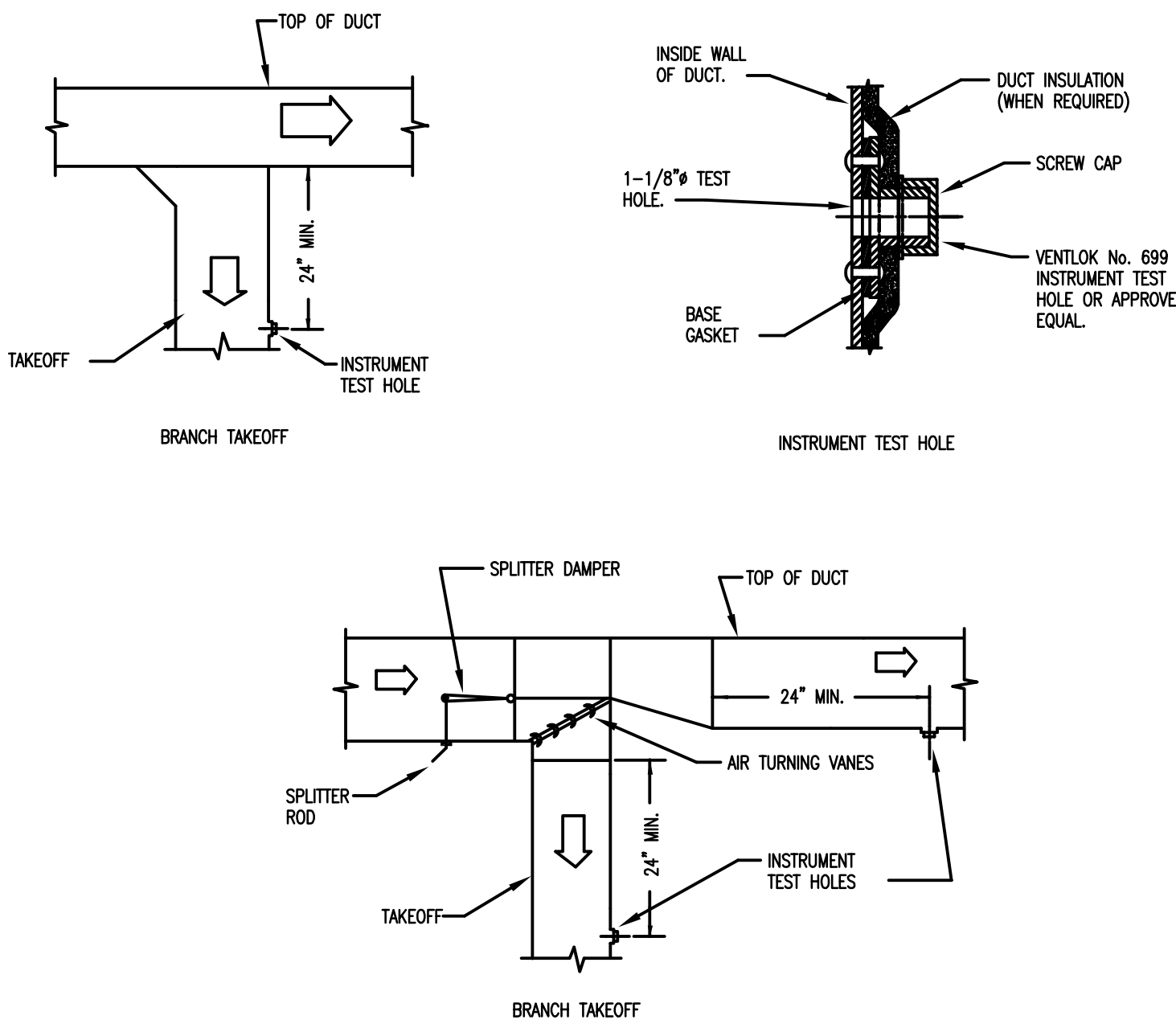


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HVAC CONTROL SCHEMATICS

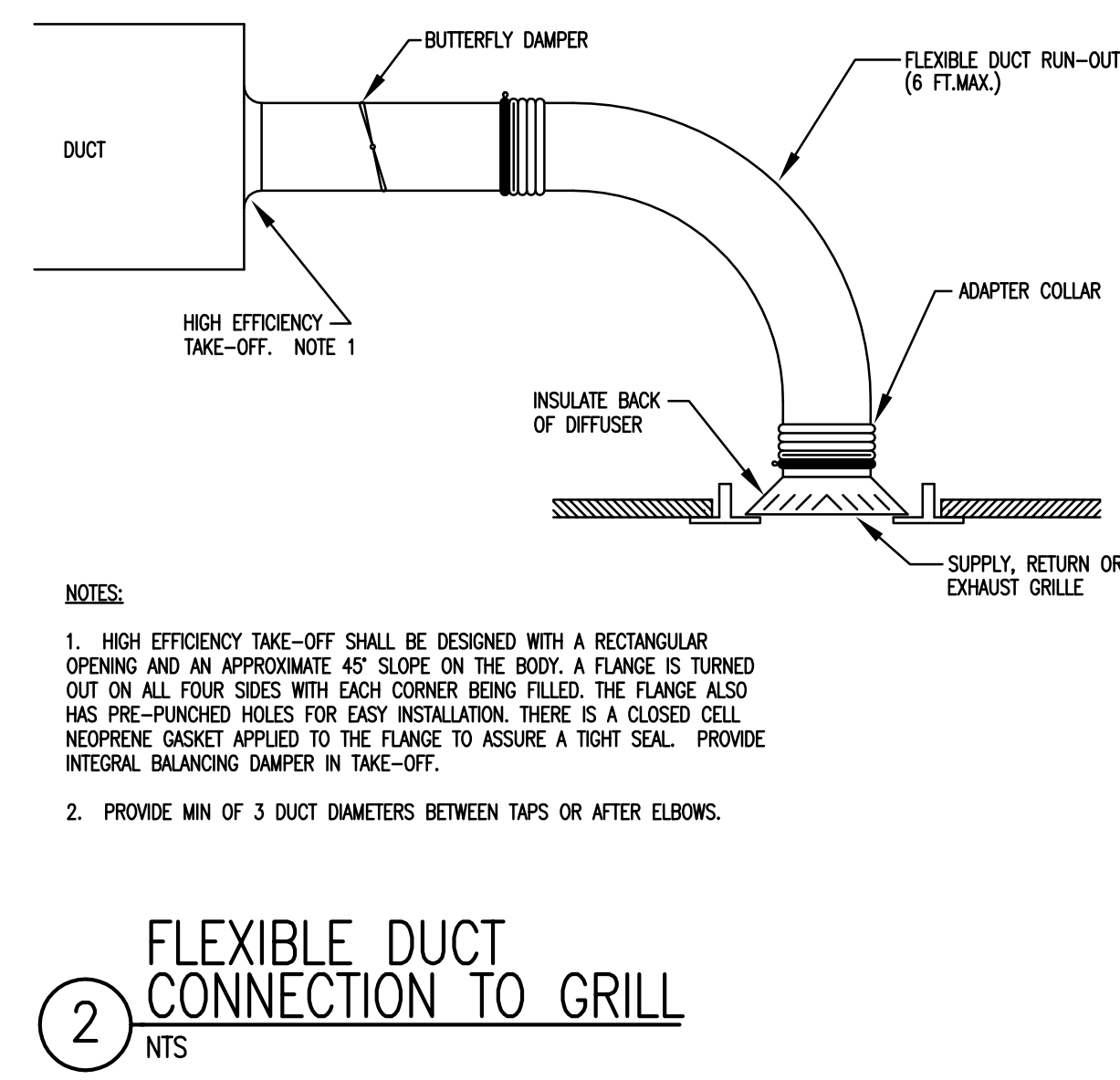
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M5.1

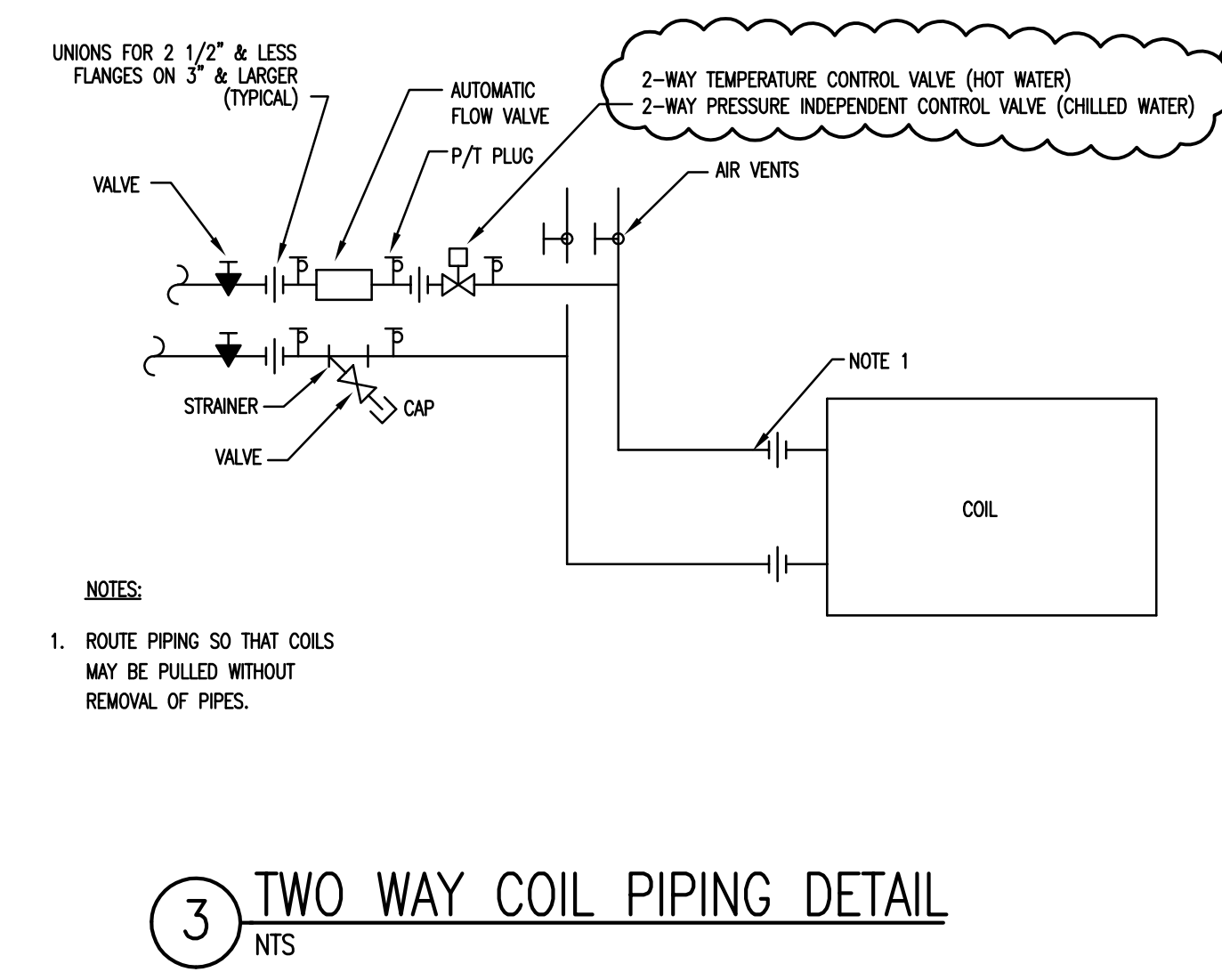
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checked by **JDR**



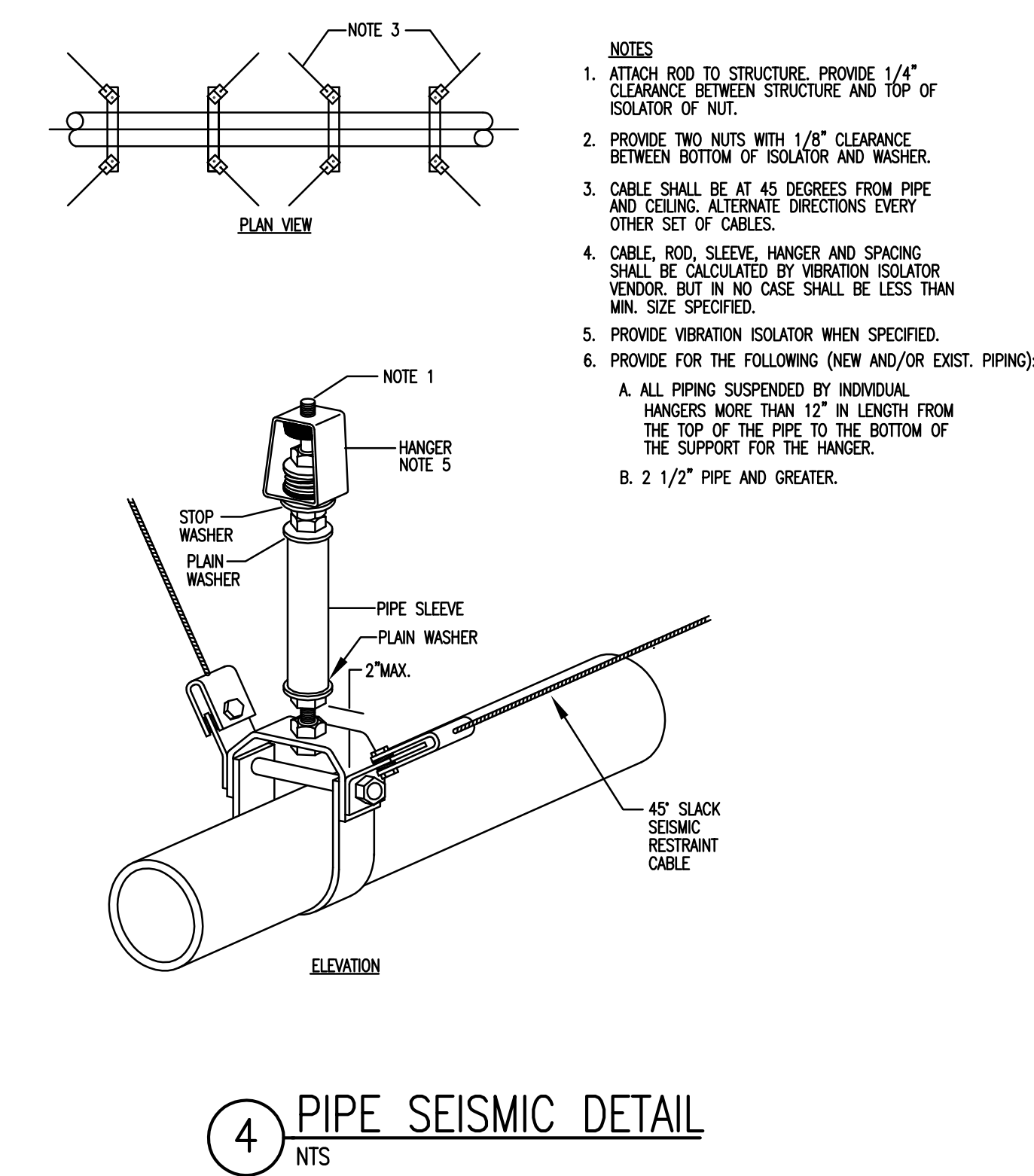
1 TYPICAL LOW PRESSURE DUCT DETAILS
NTS



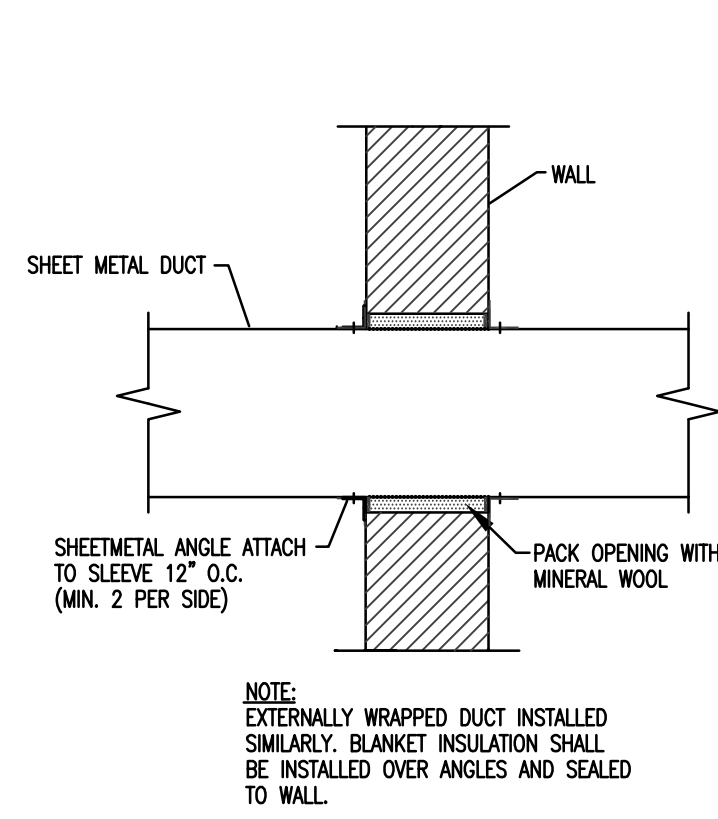
2 FLEXIBLE DUCT CONNECTION TO GRILL
NTS



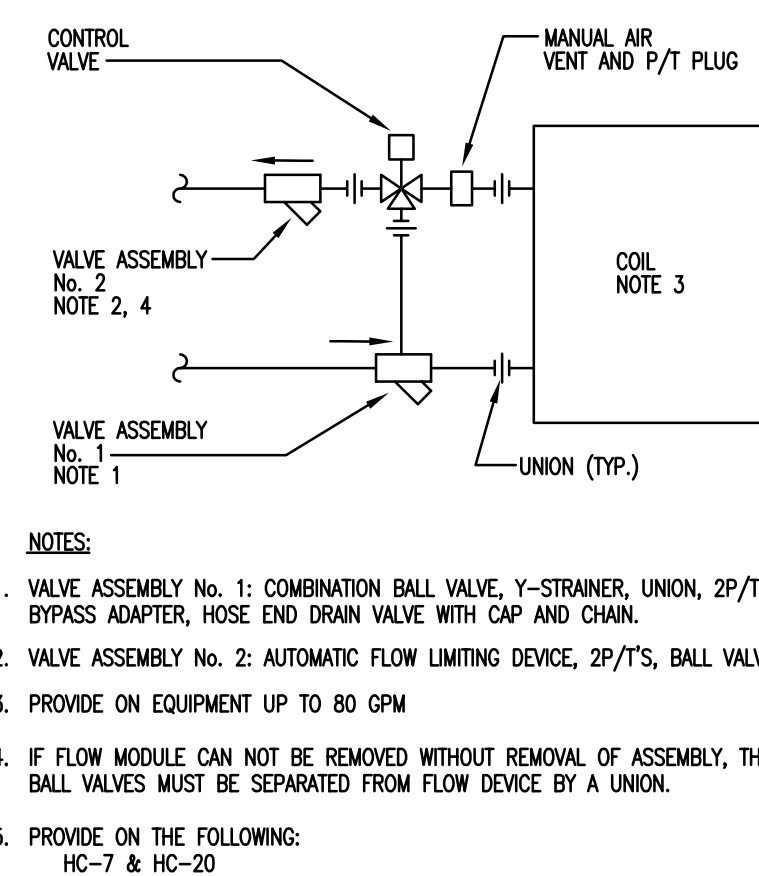
3 TWO WAY COIL PIPING DETAIL
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4 PIPE SEISMIC DETAIL
NTS



5 DUCT THRU NON-RATED WALL
NTS



6 THREE WAY COIL PIPING DETAIL
NTS

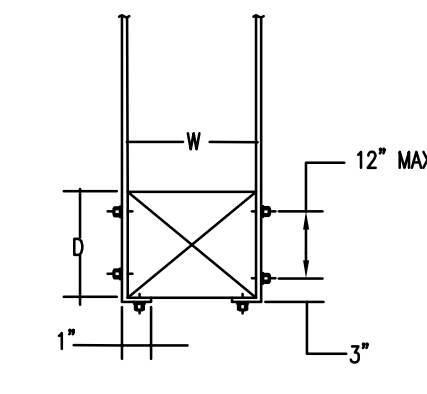
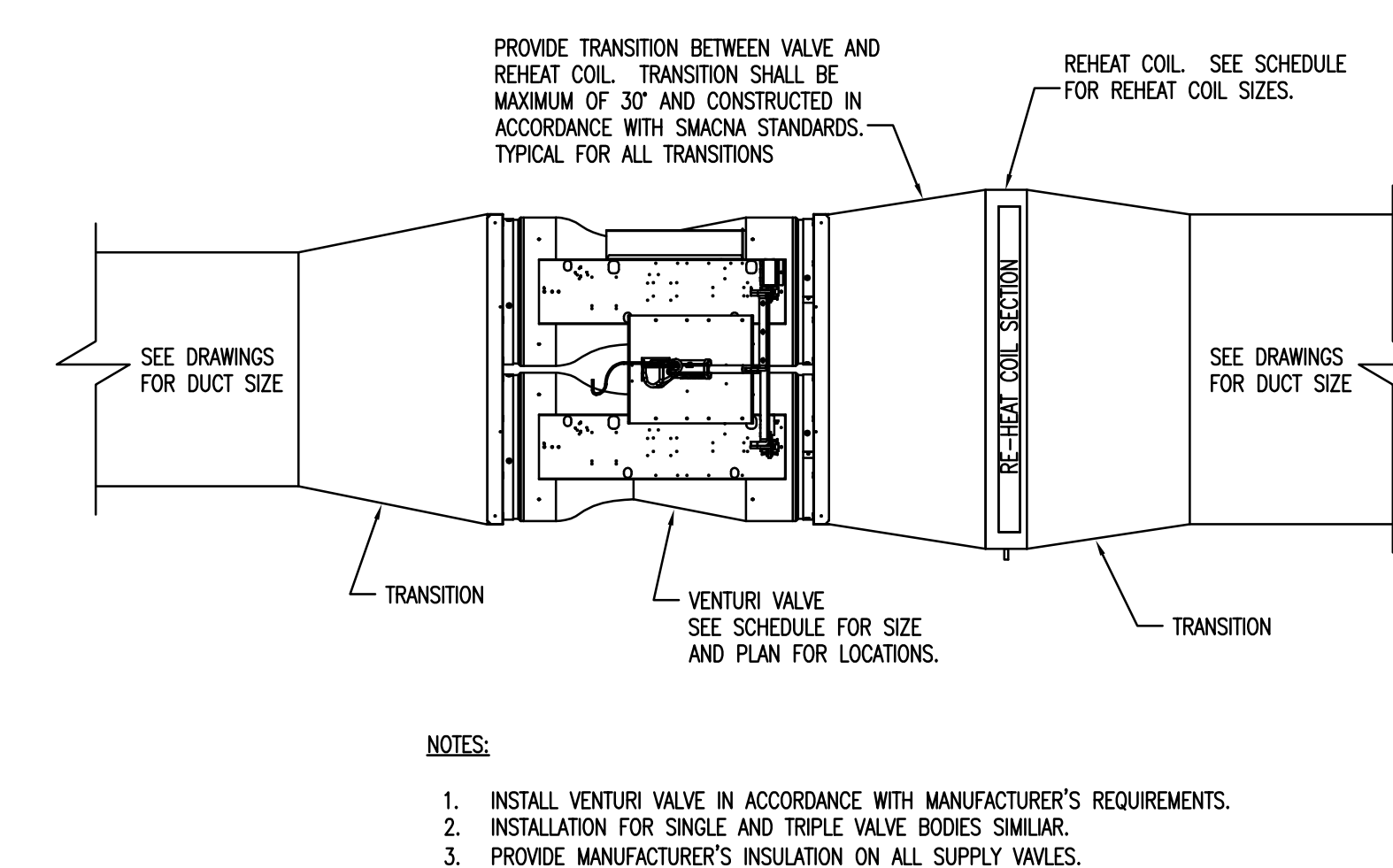


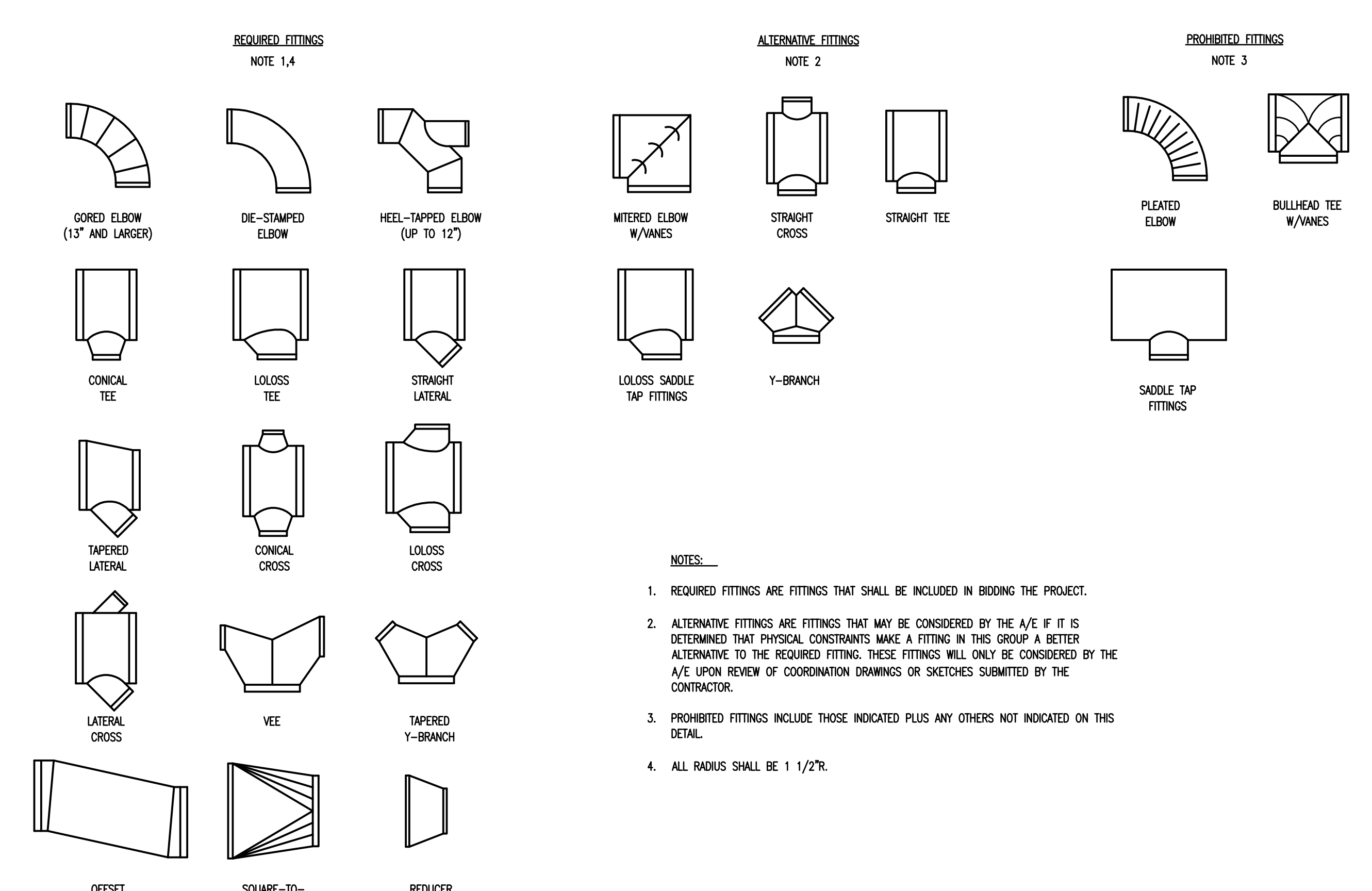
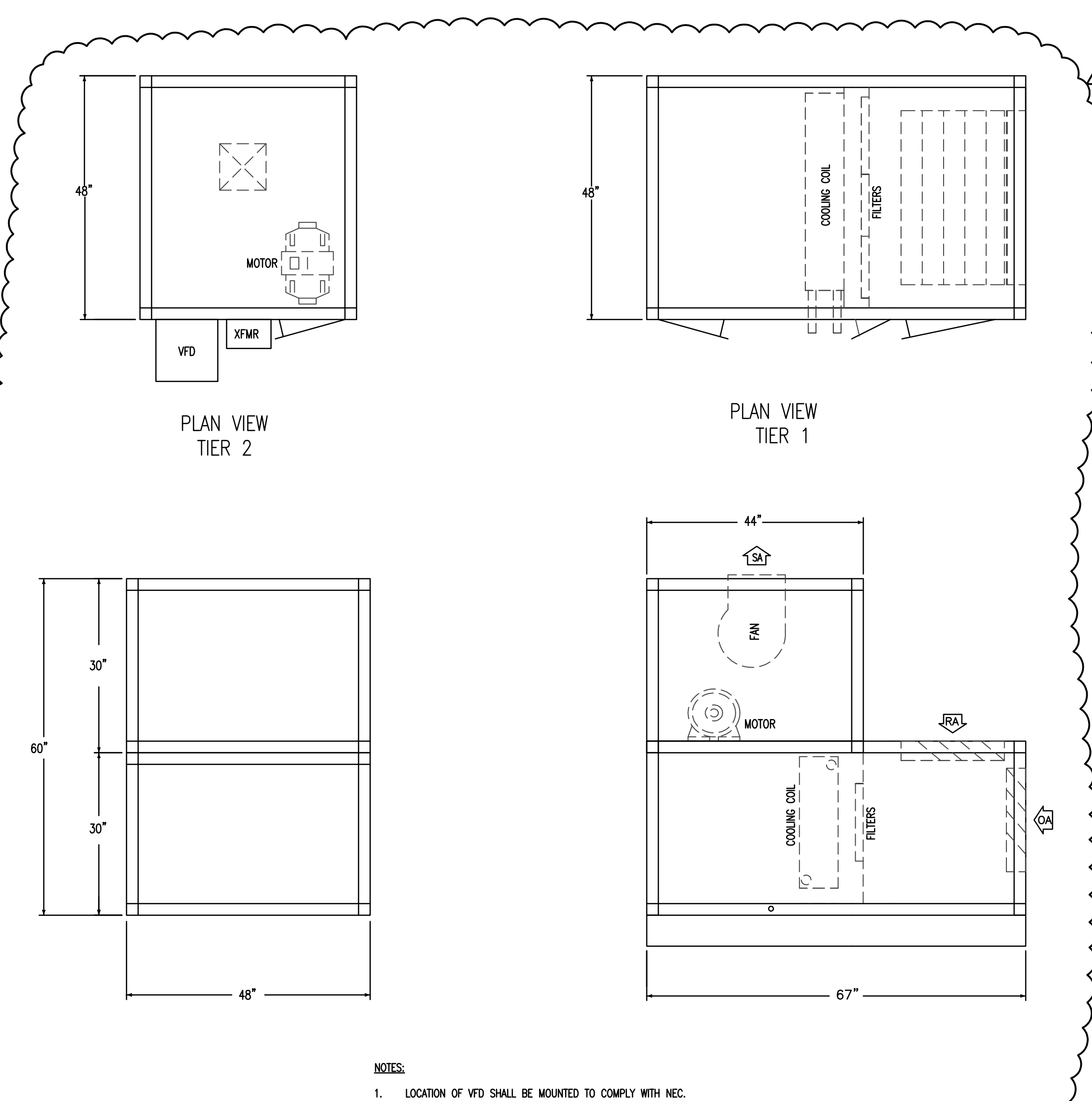
TABLE - 1. STRAP HANGERS (PAIR) SPACED

W × D MAX.	10'-0\"/>	
	MAX.	MAX.
72"	1" x 220a	1" x 220a
96"	1" x 200a	1" x 220a
120"	1" x 180a	1" x 220a
168"	1" x 180a	1" x 220a
192"	1" x 180a	1" x 180a

7 DUCT AND EQUIPMENT SUPPORT DETAILS
NTS



8 VENTURI TYPE (MAV-#) VALVE WITH REHEAT DETAIL
NTS



9 ROUND DUCT FITTINGS
NTS

10 4-AC2 AIR HANDLER CONFIGURATION DETAIL (ALT. NO. 3)
NTS

owner



project name
USC School of Medicine
Building 4 Animal Care Renovations
State Project # H27-Z152
A/E project number
14015.01

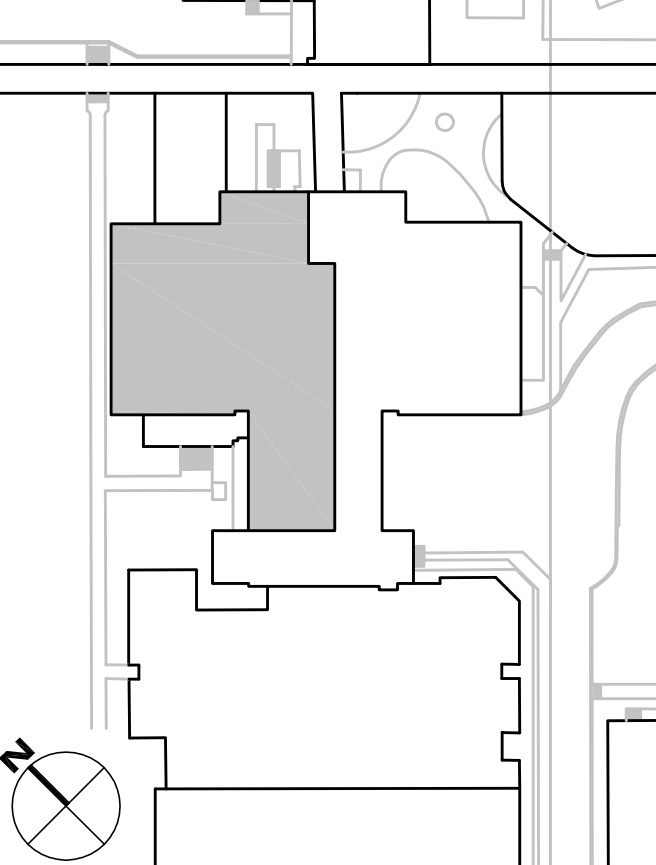
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issued for
ISSUED FOR CONSTRUCTION

date
JUNE 30, 2014

number	item	date
ADDENDUM NO. 1		06/4/14

key plan



sheet title
HVAC DETAILS

sheet number

M6.1

drawn by JDR
checked by JDR

